City Council
Mayor Sarah Glade Gurney
Vice Mayor Una Glass
John Eder
Robert Jacob
Patrick Slayter

Planning Director
Kenyon Webster
Assistant Planner
Jonathan Atkinson
Administrative Assistant
Rebecca Mansour

City of Sebastopol
Design Review Board Staff Report

Meeting Date:	April 20, 2016
Agenda Item:	8B
To:	Design Review Board
From:	Jonathan Atkinson, Assistant Planner
Subject:	Design Review: Single-Family Residence
Recommendation:	Approval with Conditions
Applicant/Owner:	Malcolm O'Meara and Tara Caffrey
File Number:	2016-15
Address:	7584 Washington Avenue
CEQA Status:	Categorical Exemption: Section 15303: Class 3
General Plan:	Medium Density Residential
Zoning:	RSF-2: Medium Density Single Family

Introduction:

This is a Design Review application, requesting approval to develop a single-family residence at 7584 Washington Avenue. The property is one of four lots that the City Council approved in May 2005, as part of the '7590 Washington Avenue Subdivision' per Resolution 5462. Design Review Board approval is required because the project involves the development of a new single-family residence in a new residential subdivision of two or more lots.

This Design Review application is subsequent to a Variance application, requesting approval to develop the residence 10 feet into the rear-yard setback area. The rationale for the Variance was that the applicants wanted the residence to be 10 feet from the rear property line to allow for better maneuverability and access to and from the carport on this highly sloped lot. On October 27, 2015, the Planning Commission considered the Variance request. Several site neighbors raised concerns about the setback variance. The Planning continued the application for more information, which would illustrate the visual impact of the residence being 10 feet from the rear-yard property-line, as opposed to 20 feet.

The applicants withdrew the Variance request, and now have the intent to develop the residence in compliance with the established development standards, as contained in the Zoning Ordinance and Resolution 5462.

Project Description:

The project involves the development of a two-story residence with a basement, which will have a floor area of 2,524 square feet and a height of 29½ feet. The residence will have painted board and batten siding, gable ends and laminated composition shingles on its roof, multiple balconies, and an attached carport. The residence will be of the California Contemporary

Country architectural style. The lot has an area of 6,525 square feet and is heavily sloped with onsite trees and vegetation. The slope condition creates design challenges. The applicants have prepared a written statement, which is attached to this staff report.

Environmental Review:

The application is categorically exempt from the requirements of the California Environmental Quality Act (CEQA), pursuant to the following:

15303: New Construction or Conversion of Small Structures: Class 3 consists of construction and location of limited numbers of new, small facilities or structures; installation of small new equipment and facilities in small structures; and the conversion of existing small structures from one use to another where only minor modifications are made in the exterior of the structure.

The project is consistent with this categorical exemption in that it involves the development of one single-family residence with a floor area of 2,524 square feet, which is a small structure as it relates to CEQA.

General Plan Consistency:

The General Plan Land Use Designation for this site is Medium Density Residential. The General Plan describes Medium Density Residential as the following: "Designates areas suitable for single family dwellings at a density of 2.1 to 6.0 units per acre. Smaller existing parcels within this designation would not be precluded from developing one housing unit. Population density for this designation would range from 5.0 to 14.4 persons per acre." The project is consistent with this designation in that the residence is a residential use and would be developed in a neighborhood that contains both multifamily and single-family residential uses.

The application is also subject to the following General Plan goals and policies:

Land Use Element

- *Policy 6: Favor Infill: Encourage development within the city limits; favor infill development over annexation.*

Community Identity Element

- *Goal 2: Preserve the character of existing residential neighborhoods.*

- *Goal 3: Ensure that new residential development demonstrates quality, excellence of design, and sensitivity to the character of the surrounding neighborhood.*

- *Policy 2: Compatibility of Development with Surroundings: Ensure that new development is sensitive to the surrounding architecture, topography, landscaping, and to the character, scale, and ambiance of the surrounding neighborhood.*

The project is consistent with these goals and policies in that it involves the development of a single-family residence within an existing neighborhood, which will contain similar design features in terms of roof style, siding, and overall architectural style.

Zoning Ordinance Consistency:

The site is located in the RSF-2: Medium Density Single Family Residential District. The Zoning Ordinance states the following: "The purpose of the RSF-2 District is to implement the 'Medium Density Residential' land use category of the General Plan. This district is applicable to single-family residential areas at the mid-higher end of the allowable General Plan density range." The project is consistent with the Zoning Ordinance in that a single-family residence is classified as a permitted use in the RSF-2 District.

The project is also subject to the following development standards as contained in the RSF-2 District and Resolution 5462:

Code Section	Development Standard		Project
Section 17.30.050	Building Height	30 Feet	29½ Feet
	Stories	Two Stories	Two Stories and Basement
Section 17.30.70	Lot Coverage	40 Percent	19 Percent
Resolution 5462	Front Setback (N/E)	20 Feet	32 Feet
	Side Setback (N)	9 Feet	9 Feet
	Side Setback (E)	9 Feet	House: 9 Feet / Stoop: 5 Feet
	Rear Setback (S/W)	20 Feet	20 Feet
Section 17.220.030.A (1)	Required Parking	Two Spaces	Two Spaces in Carport

The application is consistent with the applicable provisions of the Zoning Ordinance and Resolution 5462, except that the carport, and stoop on the east elevation will need to be revised to ensure compliance.

Zoning Ordinance Section 17.220.010.A states the following: "Parking spaces proposed to be located in a garage or carport shall be not less than 20 feet in length and 10 feet in width, interior dimensions." The interior dimension of the carport are slightly less than 20 feet by 20 feet, which is required for the two (2) off-street parking spaces. Staff has added a condition of approval, which would require the dimensions to be amended for a Building Permit application submittal.

Zoning Ordinance 17.96.080.E (2) states the following: "Uncovered porches, fire escapes, chimneys, uncovered landing places, balconies/decks, having a mean height above grade of more than two feet to project two (2) feet into the side yard setback area." The project contains a stoop that projects four (4) feet into the side yard setback area. Staff has added a condition of approval, which would require the stoop to be amended for a Building Permit application submittal.

The residence will be developed on a lot that is heavily sloped. The residence appears as though there are three stories based on certain elevations. However, the first level of the residence is technically a basement and not a story based on the Design Review submittal and per the following: Zoning Ordinance Section 17.08.120.H

STORY: "That portion of a building included between two consecutive floors of a building or the portion between a floor and the roof. A basement shall not be considered a story if the finished floor above it does not exceed six feet above natural grade for more than 50 percent of the total perimeter of the building, provided the finished floor above the basement is not more than 12 feet above grade at any point."

Zoning Ordinance Section 17.08.040.G provides the following definition for Building Height:

BUILDING HEIGHT: "The maximum allowable height shall be measured as the vertical distance from the natural grade of the site to an imaginary plane located the allowed number of feet above and parallel to the grade. The natural grade shall not be artificially raised to gain additional building height."

Public Comment:

On April 4, 2016, the applicants, Richard Pate, the architect, Planning Department staff, and the following interested site neighbors met at City Hall to discuss the project: Terry Hansen, Chloe Baskin, and Dennis Clarke. The neighbors had questions about site grading, visual impacts, and the overall construction process.

Neighbors also raised concerns about the location of a proposed compressor pad for a future air conditioning unit. The applicants agreed to relocate the compressor pad to the west side of the lot at the request of the neighbors. Staff added a condition of approval to require this relocation. Neighbors indicated that they may add lattice to the fence on the southern property line to provide better visual screening, which is permitted by the Zoning Ordinance. One neighbor was interested in a screening tree while another neighbor opposed a tree.

City Departmental Comment:

The Planning Department circulated the application to the following City departments for review: Building and Safety, Engineering, and Fire. The Planning Department has not received any City departmental comments as of writing this staff report.

Required Findings:

Section 17.310.030.B.2 of the Zoning Ordinance establishes the following Design Review Procedure: In considering an application for design review, the Design Review Board, or the Planning Director, as the case may be, shall determine whether:

a) The design of the proposal would be compatible with the neighborhood or and with the general visual character of Sebastopol.
b) The design provides appropriate transitions and relationships to adjacent properties and the public right of way.
c) It would not impair the desirability of investment or occupation in the neighborhood.
d) The design is internally consistent and harmonious.
e) The design is in conformity with any guidelines and standards adopted pursuant to this Chapter.

Analysis:

The project involves the development of a single-family residence, which will have a floor area of 2,524 square feet and a height of 29½ feet within two stories and a basement. The lot is one of four lots that the City Council approved as part of a subdivision in 2005, and could be seen as a challenging property to develop with its heavily sloped conditions. Overall, the project is consistent with the Zoning Ordinance and applicable development standards as submitted and conditioned, and conditions of approval have been added to address neighbor concerns and questions, such as erosion and drainage and the location of the compressor pad. The Board

could find the residence to be compatible with the neighborhood and general visual character of Sebastopol in that it is of the California Contemporary Country architectural style and contains board and batten siding, gable ends, and laminated composition shingles, which are reflected in homes within vicinity and throughout the community. Furthermore, the residence does not contain the same elevations or floor plan as other residences in its subdivision, nor does it contain a large flat roof, and the carport is designed as a secondary feature, which are goals of the adopted Design Guidelines.

Recommendation:

Staff recommends that the Board approve the application based on the facts, findings, and analysis set forth and subject to the conditions of approval contained in this staff report, if there is a consensus that the design of the residence is compatible with the site.

Alternatively, the Board may find that revisions are necessary and a continuance is appropriate. Staff recommends that the Board provide specific direction for redesign to the applicant in the event of a continuance or rationale in the event of a denial.

DESIGN REVIEW PERMIT: 2016-15
7584 Washington Avenue
Two-Story Single-Family Residence with a Basement

Findings for Approval:

1. That the project is categorically exempt from the requirements of CEQA, pursuant to Section 15303, Class 3, in that it involves the development of one single-family residence with a floor area of 2,524 square feet and a height of 29½ feet, which is a small structure.

2. That the project is consistent with the General Plan in that it involves the development of a single-family residence through infill development and is harmonious with the existing residential neighborhood, which are reflected in goals and policies of the Land Use Element and Community Identity Element.

3. That the project is consistent with the Zoning Ordinance in that in involves the development of a single-family residence, which is classified as a permitted use in the RSF-2 District, and is consistent with the applicable development standards as conditioned.

4. That the design of the residence is compatible with the neighborhood and general visual character of Sebastopol in that it is of the California Contemporary Country architectural style and contains board and batten siding, gable ends and laminated composition shingles, which are reflected in homes within vicinity and throughout the community.

5. That the design of the residence provides appropriate transitions and relationships to adjacent properties and the public right-of-way in that it will be located on an interior lot, which does not abut Washington Avenue, and the residence contains appropriate setbacks from adjacent structures with an appropriate height transition down the slope.

6. That the project will not impair the desirability of investment and occupation in the neighborhood in that the residence is well-designed and will be constructed of durable materials, and will contain the appropriate infrastructure with added conditions of approval to ensure that its construction will not create erosion and runoff issues for adjacent properties.

7. That the design of the residence is internally consistent and harmonious in that it utilizes consistent architectural features, such as board and batten siding, gable ends and laminated composition shingles on its roof, cedar posts, redwood balconies, and exterior lights.

8. That the design of the residence is in conformity with the adopted Design Guidelines in that it does not contain the same elevations or floor plan as other residences in its subdivision, nor does it contain a large flat roof, and the carport is designed as a secondary feature.

Recommended Conditions of Approval:

1. Approval is granted for the Design Review submittal described in the application and plans date-stamped March 1, 2016. This approval is valid for two (2) years, except that the applicant may request a one (1) year extension of this approval from the Planning Director, pursuant to Section 17.250.050 of the Zoning Ordinance.

2. All construction shall conform to the plans date-stamped March 1, 2016, unless the design is modified herein. The applicant shall obtain a Building Permit prior to the commencement of construction activities.

3. The Building Permit application submittal shall include the following revisions: The air conditioner compressor pad shall be located on west side of the lot and not be closer than five (5) feet from the property line. The interior dimensions of the carport shall not be less than 20 feet in length and 20 feet in width. The stoop on the east elevation shall be revised so it does not project more than two (2) feet into the side yard setback area.

4. Payment of impact fees is required prior to the issuance of a Building Permit.

5. Storm water pollution prevention measures for erosion and sediment control will be required for any work performed between October 15th and April 15th.

6. Roof drainage from the new unit shall be addressed to the satisfaction of the Building Official by directing flows into a vegetated swale, or into a cistern or rain barrel, subsurface detention system, or a combination of approaches approved by the Building Official. No new drainage may discharge across public sidewalks or across property lines.

7. All new utility services must be placed underground.

8. The applicant shall submit a grading plan prepared by a registered civil engineer to the City of Sebastopol Public Works Department for review and approval. Applicable plan check fees shall be paid at the time of submittal.

9. The grading plan submittal shall include a copy of a recent title report.

10. The grading plan submittal shall include a copy of the geotechnical evaluation of the lot. Later submittals shall include a geotechnical evaluation of the grading and foundation plans for the proposed house.

11. The grading plan shall make adequate provisions to direct runoff to the existing driveway. Downspouts shall be disconnected from any underground drainage system. No drainage shall be directed over the slope in the front of the lot.

12. Building Permit plans for the site shall demonstrate compliance with any applicable storm water requirements, including Urban Runoff Reduction and the Low Impact Development Manual. Use of swales, bio-filters, green strips and rain gardens are encouraged.

13. Fully Automated Fire Sprinklers and a Smoke and Carbon Monoxide Detection System are required and shall be installed to the satisfaction of the Fire Chief.

14. No protected tree removals are authorized with this approval. Any tree removals shall be consistent with the Tree Protection Ordinance.

15. Grading Permit and Building Permit applications shall include site-specific Tree Protection Measures, which must be approved by the City Arborist, prior to commencement of any construction on the lot. Trees at or near the property line which overhang the site shall be afforded equal protection. Building plans shall show required protection.

16. All applicable conditions of Resolution 5462 shall apply.

Attachments:

- Master Planning Application Form
- Written Statement
- Location Map
- Site Photographs
- Exterior Lighting Specifications
- Height Information
- AC Compressor Pad Specifications
- Resolution 5462
- Design Review Submittal
- Materials Board

City of Sebastopol

Planning Department
7120 Bodega Avenue
Sebastopol, CA 95472
(707) 823-6167 (Phone) or (707) 823-1135 (Fax)
www.ci.sebastopol.ca.us

MASTER PLANNING APPLICATION FORM

Planning File # 2016-15
Date Filed: 03.01.16
Total Fee Paid = $910-
Received by:
Date Application Deemed Complete: 03/21/16

PROJECT INFORMATION

ADDRESS: 7584 Washington Avenue, Sebastopol
ASSESSOR'S PARCEL #: 004-223-029
PARCEL AREA: 6,525 sq ft

APPLICANT OR AGENT:

Malcolm O'Meara
Name: Tara Caffrey
Email Address: mackomeara@gmail.com
Mailing Address: 7495 East Hurlbut Ave
City, State, Zip: Sebastopol, CA 95472
Phone: 707 225 5420
Fax:
Business License #:
Signature:
Date: 02/29/2016

OWNER OF PROPERTY, IF OTHER THAN APPLICANT:

Malcolm O'Meara
Name: Tara Caffrey
Email Address:
Mailing Address:
City, State, Zip:
Phone:
Fax:
Business License #
Signature:
I certify that this application is being made with my consent.
Date:

OTHER PERSONS TO BE NOTIFIED: (Include Agents, Architects, Engineers, etc).

Name: Richard Pate (Architect)
Email Address: rkparc@gmail.com
Mailing Address:
City, State, Zip:
Phone: 707 823 2992
Fax:

Name:
Email Address:
Mailing Address:
City, State, Zip:
Phone:
Fax:

Project Description (attach additional pages if needed): **DESCRIBE IN DETAIL** the proposed project and permit request:

This application is for a Design Review for a proposed dwelling on above mentioned lot.

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BY:

This application includes the checklist for the type of application requested: Yes _____ No _____

Please indicate the type(s) of application that is being requested (example: Use Permit, Design Review, Variance, Planned Community Rezone, etc): Design Review

Please describe existing uses (businesses, residences, etc) and other structures on the property:

Empty undeveloped lot

Square Feet Building Existing: 0
Square Feet Building Demolished: 0
Square Feet Building New: _____
Net Change in Building Square Feet: _____

Number of Dwelling Units Existing:
_____ 0 Bedrooms _____ 1 Bedroom 0 2 Bedrooms _____ 3 Bedrooms _____ 4+ Bedrooms

Number of Dwelling Units Proposed:
_____ 0 Bedrooms _____ 1 Bedroom 1 2 Bedrooms _____ 3 Bedrooms _____ 4+ Bedrooms

Net Change in Dwelling Units: 1

Existing: Front Yard Setback 9 ft Side Yard Setback 10 ft Rear Yard Setback 20 ft, and _____

Proposed: Front Yard Setback 9 ft Side Yard Setback 10 ft Rear Yard Setback 20 ft, and _____

Existing Lot Dimensions: Front 92 ft Left Side 60 ft
Rear 92 ft Right Side 88 ft

Proposed Lot Dimensions: Front 92 ft Left Side 60 ft
Rear 92 ft Right Side 88 ft No change

Existing Lot Area: 6.525 sq ft Square Feet
Proposed Lot Area: 6.525 sq ft Square Feet

Building Height: 0 Existing Number Stories: 0 Existing
29.5 ft Proposed 1 Proposed

Parking Spaces: 0 Existing 2 Proposed
Existing Zoning: _____

Proposed Zoning: _____

Will the project involve a new curb cut or driveway? Private driveway from common driveway Yes _____ No

Are there existing easements on the property? _____ Yes no No

Will Trees be removed? _____ Yes* No No
*If yes, please describe (example; type, size, location on property, etc)

Will Existing Landscaping be revised? some grading Yes _____ No

Will Signs be Changed or Added? _____ Yes no No

Hours of operation: _____ Is alcohol service proposed? _____ Yes _____ No

If restaurant, cafe, bar or nightclub, number of seats: _____

INDEMNIFICATION AGREEMENT

As part of this application, applicant agrees to defend, indemnify, release and hold harmless the City, its agents, officers, attorneys, employees, boards and commissions from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or the adoption of the environmental document which accompanies it or otherwise arises out of or in connection with the City's action on this application. This indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the City's action on this application, whether or not there is concurrent passive or active negligence on the part of the City.

If, for any reason any portion of this indemnification agreement is held to be void or unenforceable by a court of competent jurisdiction, the remainder of the agreement shall remain in full force and effect.

	02/29/2016	2016-15
Applicant's Signature	Date Signed	Planning File Number

NOTE: The purpose of the indemnification agreement is to allow the City to be held harmless in terms of potential legal costs and liabilities in conjunction with permit processing and approval.

NOTICE OF MAILING:

Effective immediately, email addresses or facsimiles will be used for sending out of staff reports and agendas to applicants, their representatives, property owners, and others to be notified if an email address or facsimile number is available.

Please sign and acknowledge you have been notified of the Notice of Mailing for applications and have provided an email address or fax number.

	Malcolm O'Meara
Signature	Printed Name

NOTE: It is the responsibility of the applicant and their representative to be aware of an abide by City laws and policies. City staff, Boards, Commissions, and the City Council will review applications as required by law; however the applicant has responsibility for determining and following applicable regulations.

NEIGHBOR NOTIFICATION

In the interest of being a good neighbor, it is highly recommended that you contact those homes or businesses directly adjacent to, or within the area of your project. Please inform them of the proposed project, including construction activity and possible impacts such as noise, traffic interruptions, dust, larger structures, tree removals, etc.

Many projects in Sebastopol are remodel projects which when initiated bring concern to neighboring property owners, resident and businesses. Construction activities can be disruptive, and additions or new buildings can affect privacy, sunlight or landscaping. Some of these concerns can be alleviated by neighbor-to-neighbor contacts early in the design and construction process.

It is a "good neighbor policy" to inform your neighbors so that they understand your project. This will enable you to begin your construction with the understanding of your neighbors and will help promote good neighborhood relationships.

Many times development projects can have an adverse effect on the tranquility of neighborhoods and tarnish relationships along the way. If you should have questions about who to contact or need property owner information in your immediate vicinity, please contact the Building and Safety Department for information at (707) 823-8597, or the Planning Department at (707) 823-6167.

I have informed site neighbors of my proposed project: X Yes _____ No

If yes, or if you will inform neighbors in the future, please describe outreach efforts: I have contacted all 6 of the contiguous neighbors and advised them that a Design Review is pending. Elevation views of the proposed building were provided. These have changed only slightly since then - primarily with regard to the kind of siding that will be used.

WEB SITE REQUIRED FOR MAJOR PROJECTS

Applicants for major development projects (involving proposed development of 25,000 square feet of new floor area or greater, or 25 or more dwelling units) are required to create a project web site in conjunction with submittal of an application for Planning approval (including but not limited to Subdivisions, Use Permits, Rezonings, and Design Review). Required information may be provided on an existing applicant web site.

The web site address shall be provided as part of the application. The web site shall be maintained and updated as needed until final discretionary approvals are obtained for the project.

Such web site shall include, at a minimum, the following information:

- Project description
- Contact information for the applicant, including address, phone number, and email address
- Map showing project location
- Photographs of project site
- Project plans and drawings

DESIGN REVIEW WRITTEN STATEMENT:

DATE: February 29, 2016

FROM: Tara Caffrey / Malcolm O'Meara, 707-225-5420

SITE: 7584 Washington Avenue, Sebastopol, CA
APN- 004-223-029

REFERENCE DRAWINGS: Prepared by RK Pate-Architect, titled, "DESIGN REVIEW DRAWINGS," and dated, 2/29/2016. Phone: 707-823-2992

STATEMENT:

The proposed project, as described by the Reference Drawings, is a two-storey, single family residence with a total of 2.524 sq feet conditioned space.

The lot has a significant uphill slope with the entrance on the lower, northern side. The house design responds to the topography by stepping down the hillside towards the lot entrance.

From the driveway entrance, the proposed driveway hugs the northerly property line and leads to open parking with 2 stalls and an on-site turnaround. There are redwood decks above the parking; (please see the reference drawings).

Site drainage east of the structure is accomplished via sheet drainage to a D.I. at rip-rap on the north east corner of the property which leads to the driveway and on to the existing storm drainage system. Sheet flow behind and to the west of the structure is led to the west, to a rock-lined swale which leads to a D.I. at rip-rap which drains to the driveway and on to the existing storm drainage system at Washington Avenue.

The basement level houses the entry, laundry room and a conditioned recreation room. There is also a small, unconditioned, storage area with access from the parking area. The stairs to the upper levels lead from the entry.

The main level houses the public spaces (kitchen, dining, living area), the main bathroom and the main bedroom suite along with a small office. This level has a waterproof deck coming from the living room towards the north. There is also the redwood deck above the parking slots, to the west.

The upper level, which is entirely south of the conditioned space at the lowest level, houses a library, a bathroom and a bedroom. Both rooms have their own associated waterproof deck, to the north. There is also a redwood deck, to the west of the bedroom, over the deck below.

The exterior style is California contemporary country and features painted board and batten siding and redwood guardrails for the decks. The roofing material will be a gray, architectural grade, laminated composition shingle.

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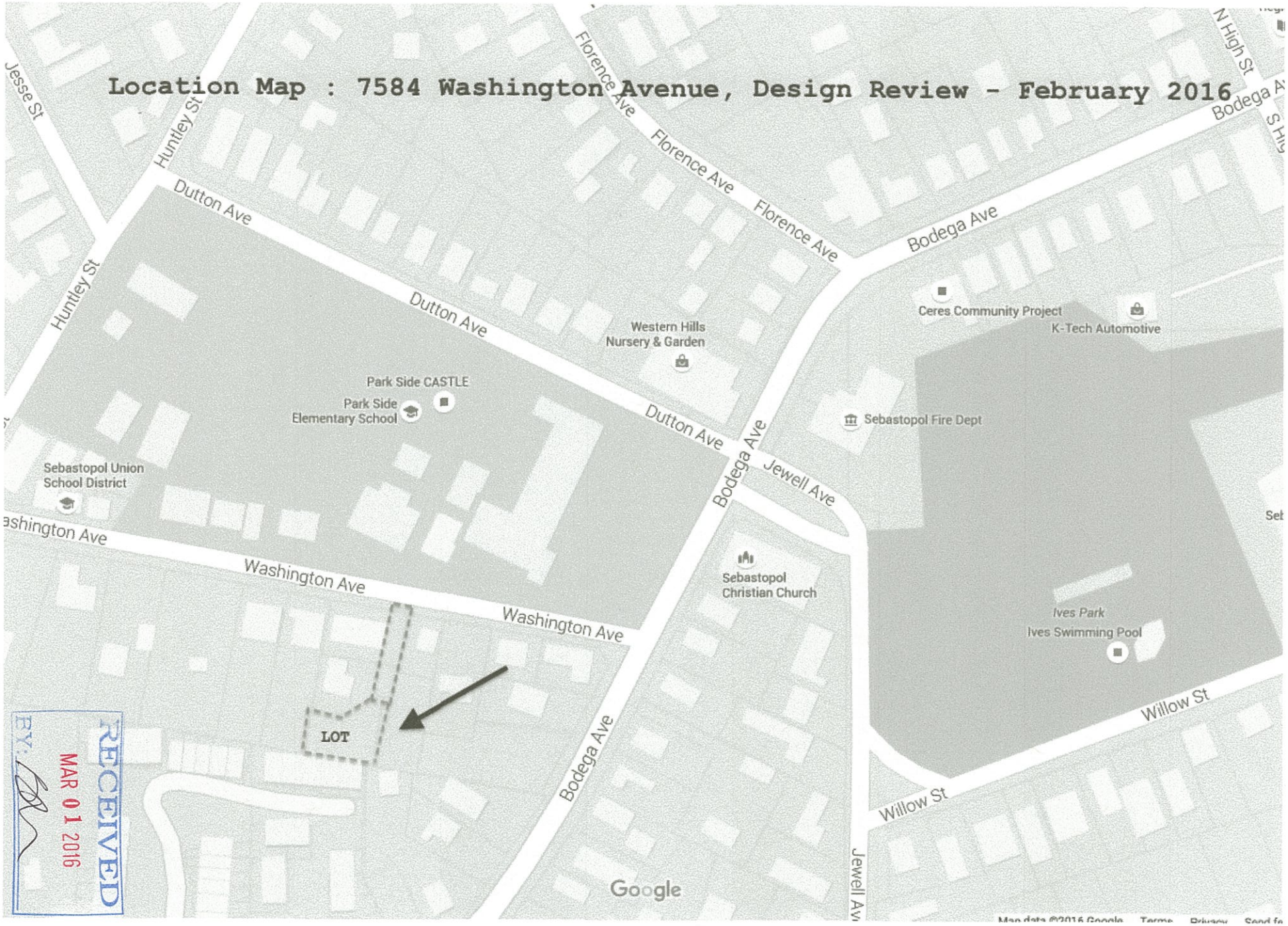
2/29/2016

Location Map : 7584 Washington Avenue, Design Review - February 2016



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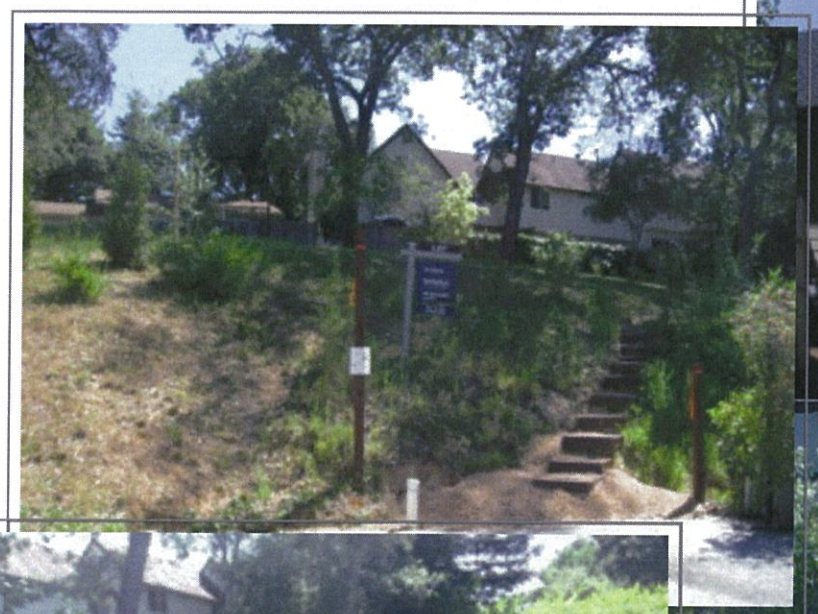
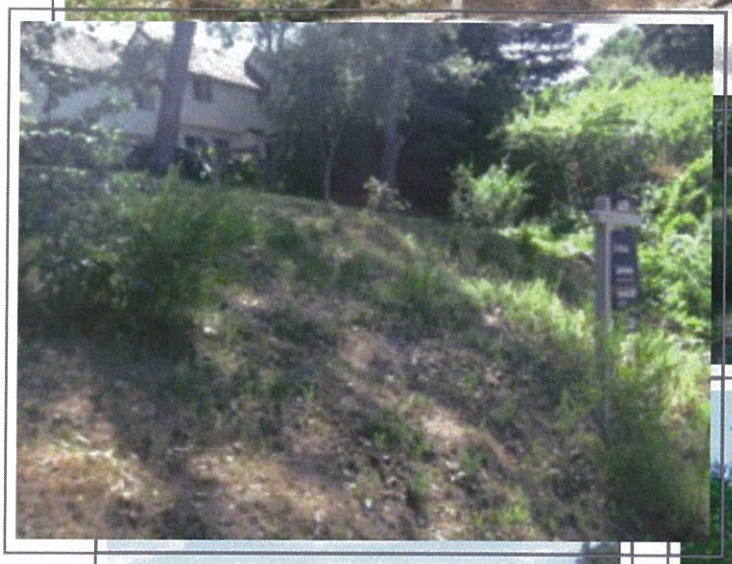
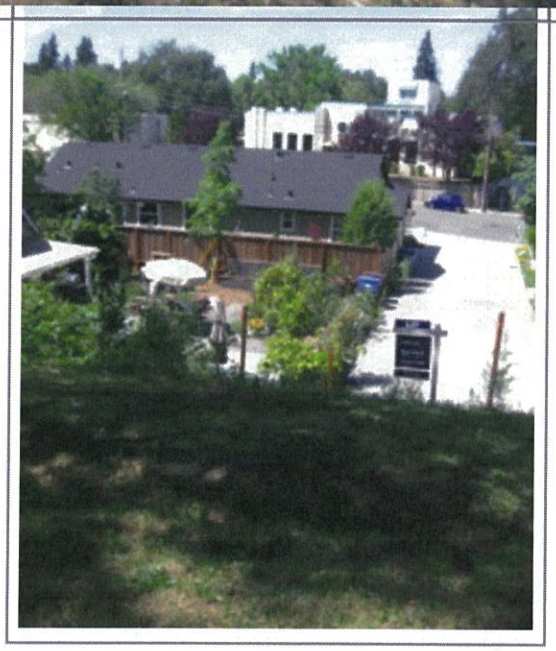
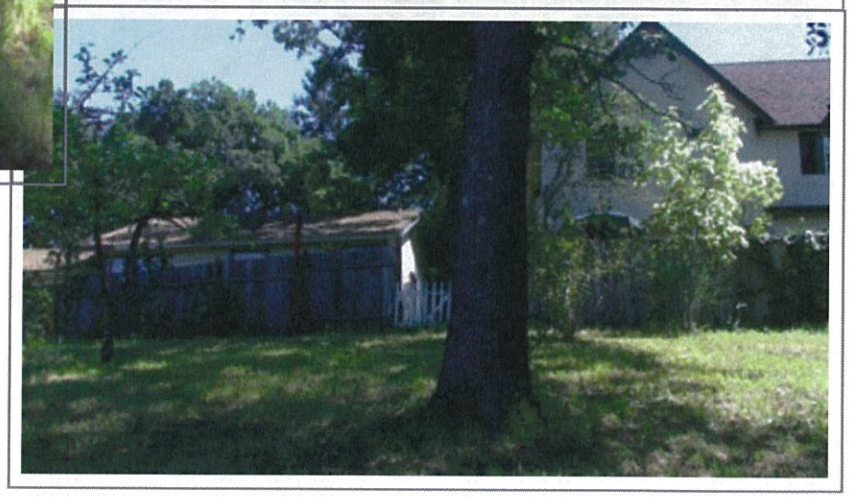
Montage - Washington Avenue









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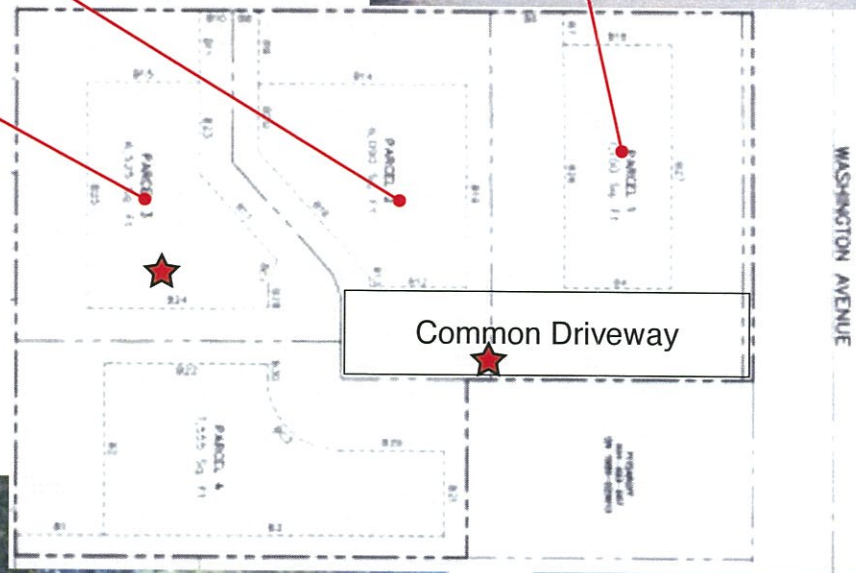

★ = Photo shoot point
1. From driveway
2. From hill on lot 3

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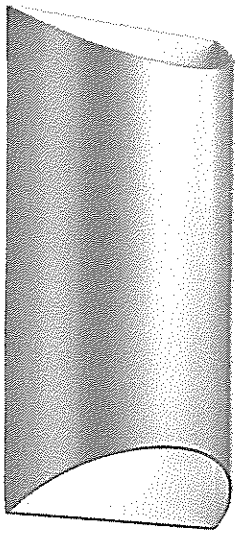
KICHLER. Exterior Lighting

style to live by™



Project	
Type	
Ordering #	
Comments	

Wesley Collection
Wesly 2 Light LED Outdoor Wall Light in Platinum P
49279PLLED

Product Description: Wesly 2 Light LED Outdoor Wall Light mirrors the lines and shapes found on your contemporary home. The half-moon silhouette at top and bottom is lined with etched glass to shed brilliant light. To finish this sleek look our Wall Light is finished with Platinum.

Available Finishes

Textured Architectural Bronze
PL

ADD TO PROJECT

Technical Information

Weight:	3.24 LBS
Safety Rated:	Wet
HCWO:	7.00"
Base Backplate:	5.31 X4.13
Color Rendering Index:	90
Color Temperature Range:	3000
Expected Life Span:	35000 Hours
Operating Voltage Range:	100-120Vac
Light Source:	LED
Collection:	Wesley Collection
Width:	7.00"
Height:	14.00"
Lamp Included:	Integrated
Glass Description:	Clear Tempered Glass With Inside Sandblast
Extension:	4.00"
Voltage:	120V
Energy Efficient:	Yes
ADA Compliant:	Yes
Kelvin Temperature:	3000K

See Compatible Dimmers

Zoning Ordinance

Chapter 17.30 RSF-2 SINGLE FAMILY RESIDENTIAL-2 DISTRICT

17.30.050 Maximum Building Height.

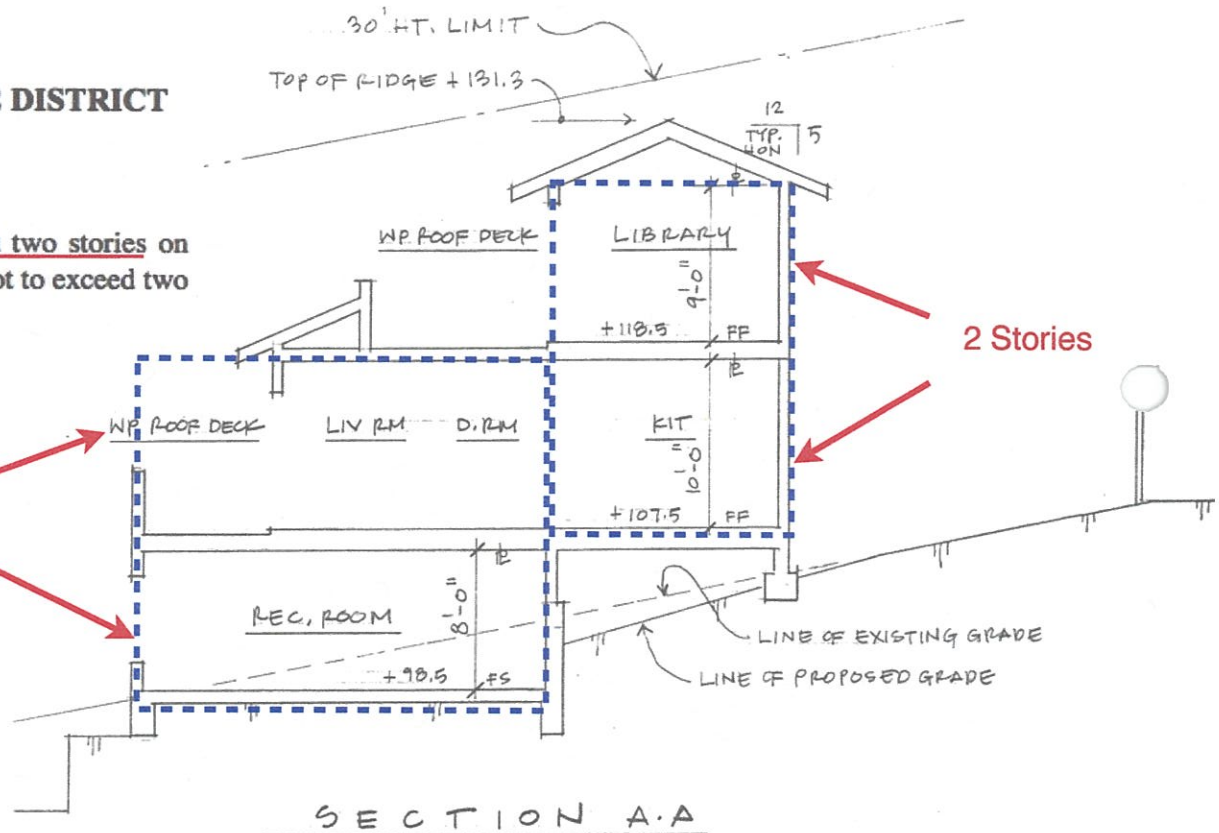
A. For main buildings -- maximum thirty (30) feet, not to exceed two stories on parcels of 5,000 square feet or greater, and twenty-eight feet (28), not to exceed two stories on parcels of less than 5,000 square feet.

B. For accessory buildings -- maximum seventeen (17) feet.

2 Stories not exceeded

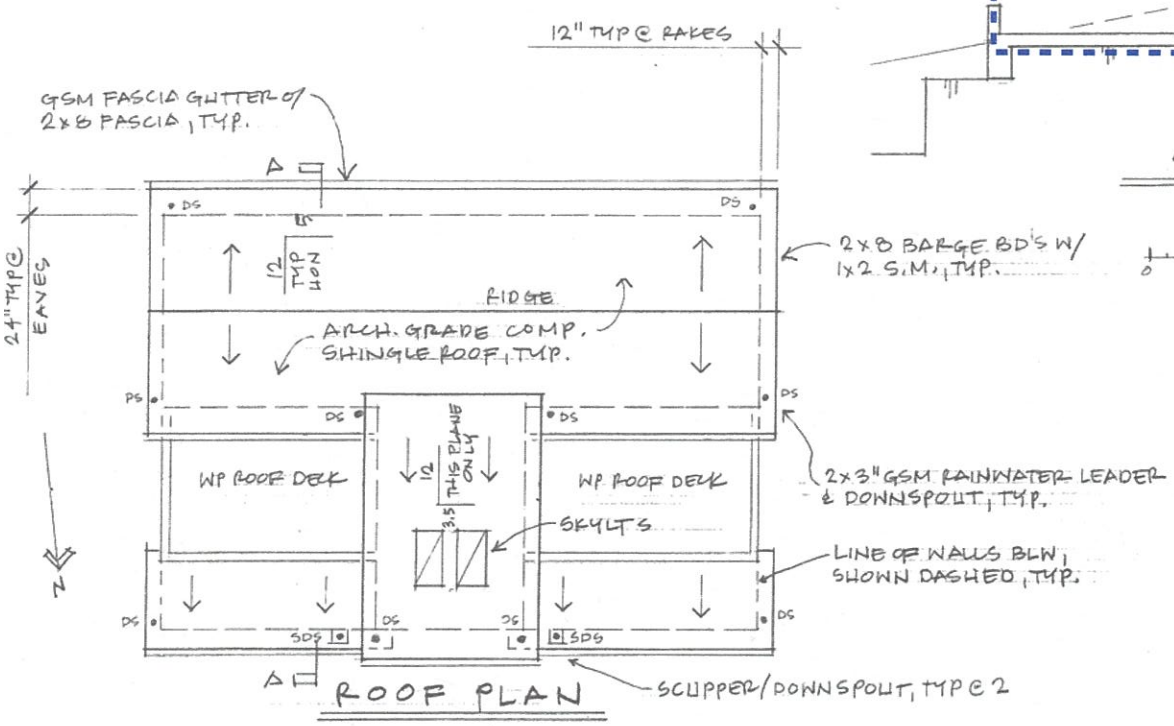
2 Stories

2 Stories



SECTION A-A

SC: 1/8" = 1'-0"



ROOF PLAN

SC: 1" = 10'-0"

Appendix #2b - Design Review - O'Meara

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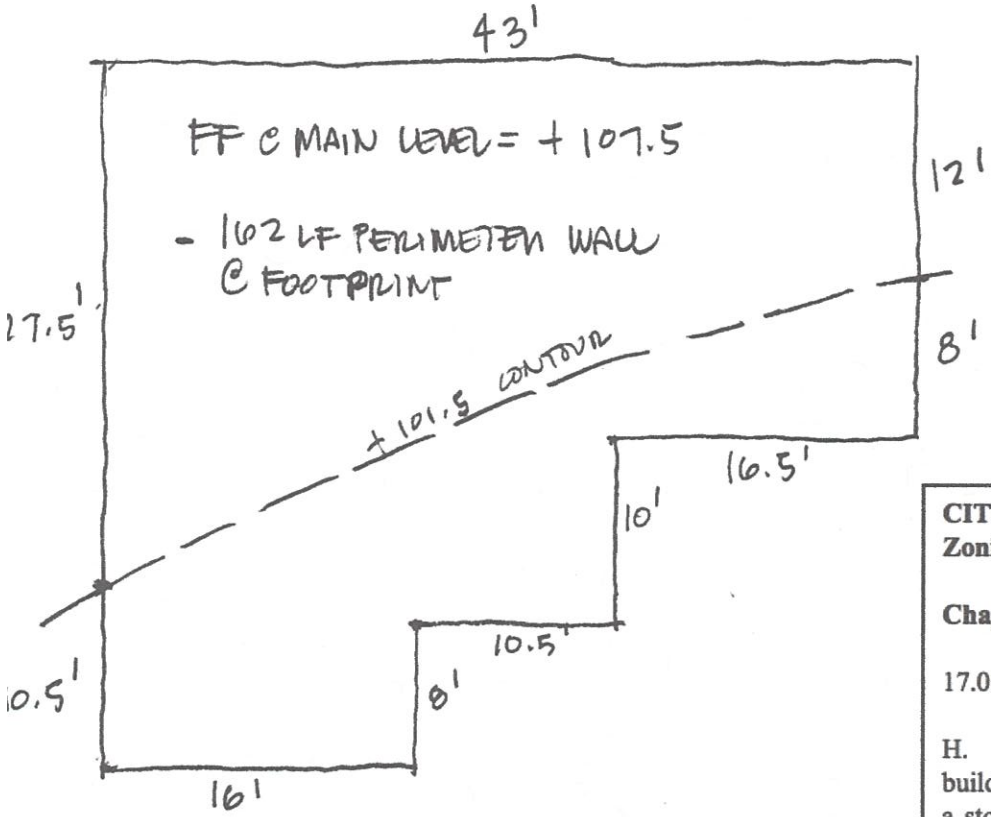
BY: JA

DESIGN REVIEW DRAWINGS

- LF PERIMETER ABOVE + 101.5 = 82.5 LF
- LF " BELOW + 101.5 = 79.5 LF

82.5/162 = 51%
79.5/162 = 49%

∴ Basement is not a story by definition of City Ordinance



BUILDING FOOTPRINT
1" = 10'

N

CITY OF SEBASTOPOL
Zoning Ordinance

Chapter 17.08 Definitions

17.08.119 Definition "S"

H. STORY: That portion of a building included between two consecutive floors of a building or the portion between a floor and the roof. A basement shall not be considered a story if the finished floor above it does not exceed six feet above natural grade for more than 50 percent of the total perimeter of the building, provided the finished floor above the basement is not more than 12 feet above grade at any point.

O'MEARA / CAFFREY RESIDENCE
7584 WASHINGTON AVE
SEBASTOPOL, CA

APN 004-223-029

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SUPPLEMENT DWG TO DESIGN REVIEW DWGS

2/29/2016

Appendix #2a - Design Review - O'Meara

Tough. Durable. Strong. **Consistent quality. Enduring strength. Trusted for over 30 years.**

CladLite® Equipment Pads provide the strength and durability customers demand in an easy to install pad. CladLite® Pads are to up 80% lighter than solid concrete but still provide rock solid support for equipment. Once it's set, so are you. CladLite® Pads stay in place and can withstand anything mother nature can throw at them. These pads provide superior resistance to sun, moisture, and freeze-thaw conditions. And the vibration dampening EPS foam core is unaffected by water, soil, fungus or bacteria. Cladlite® Pads are available in 2" and 3" thickness and more than 70 different sizes so you can get the exact pad you need for the job. Get the concrete pads that homeowners prefer – CladLite®.

- **Concrete is highly valued by homeowners**
- **80% lighter than solid concrete**
- **Continuous steel reinforcement**
- **Full foam bottom resists settling and vibration**
- **Impervious to weather**

CLADLITE® SPECIFICATIONS

Allowable Load: 125 lbs. per 2" diameter foot

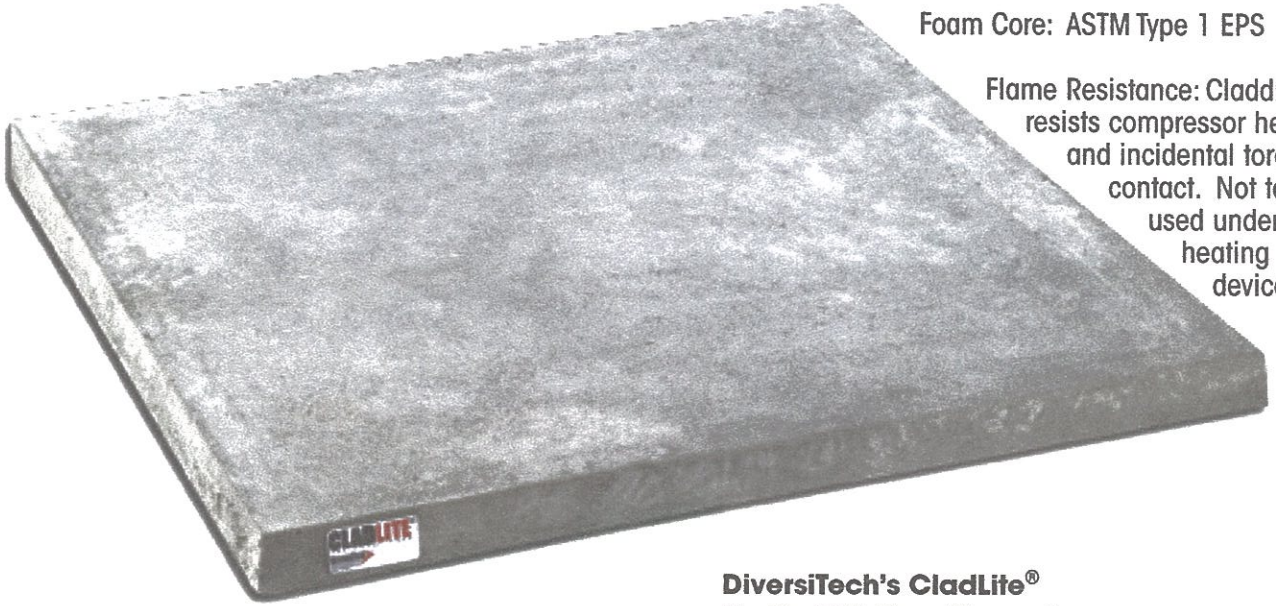
Freeze/Thaw: Flawless performance under the 25-cycle regimen specified by ASTM C67

Chemical Resistance: Does not craze, soften, delaminate, or spall when tested per ASTM D2299 with the following:

- R-22 and R-134a
- Compressor oil
- Synthetic canine urine
- Salt solution, 20% by volume

Foam Core: ASTM Type 1 EPS

Flame Resistance: Cladding resists compressor heat and incidental torch contact. Not to be used under heating devices.



DiversiTech's CladLite®
Limited Lifetime Warranty

To the original owner of the CLADLITE equipment base, DiversiTech warrants the base to be free of defects in materials and workmanship for the life of the equipment under which it is installed so long as the installing homeowner lives there. All defective merchandise must be returned to the factory, transportation prepaid, and if the same is found to be defective, it will be repaid or replaced free of charge, F.O.B. factory. This warranty does not cover replacement labor cost, or any cost claim incident to the defect, replacement, or reinstallation, nor field repair expenses. This warranty gives you specific legal rights and you may also have other rights which vary from state to state. Some states do not allow the exclusion or limitation of incidental or consequential damages, so the above limitation of exclusion may not apply to you. EXCLUSIONS AND LIMITATIONS: DiversiTech's CLADLITE equipment pads are designed and manufactured to be used as bases for light, ground supported equipment such as air conditioning condensers, swimming pool filters and heat pumps. Use of CLADLITE pads may result in pad failure. DiversiTech Corporation disclaims any liability due to such misuse or improper installation. If you have questions concerning the proper installation or use of DiversiTech's CLADLITE equipment pads, you should contact our Customer Service Department at (800)995-2222.

RECEIVED
MAR 21 2016
BY: JA

Appendix #3 - Design Review - O'Meara

7 ue

RESOLUTION NO. 5462

A RESOLUTION OF THE CITY COUNCIL
OF THE CITY OF SEBASTOPOL
APPROVING A
TENTATIVE MINOR SUBDIVISION MAP
FOR THE PROPERTY AT 7590 WASHINGTON AVENUE, APN 004-223-006

WHEREAS, an application for a Tentative Minor Subdivision Map was filed on February 10, 2005 by Denis Clarke. This proposal will allow the subdivision of the property at 7590 Washington Avenue into 4 separate single-family residential lots ranging in size from 6,090 square feet to 7,555 square feet;

WHEREAS, the proposed Tentative Minor Subdivision Map, as conditioned, has been found to be consistent with the Sebastopol General Plan, the Zoning Ordinance, and any other applicable provisions of the Municipal Code;

WHEREAS, the proposed Tentative Minor Subdivision Map is categorically exempt from the requirements of CEQA pursuant to Section 15332, Class 32 of the Guidelines;

WHEREAS, the design of the proposed subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision, as described in the State Subdivision Map Act;

WHEREAS, the Sebastopol Planning Commission held a duly noticed public hearing on April 12, 2005, and received public testimony and considered the staff report;

WHEREAS, following said public hearing, the Planning Commission made appropriate findings of fact and made a motion recommending to the City Council the approval of the application for a Tentative Major Subdivision Map for the property at 7590 Washington Avenue, APN 004-223-006;

WHEREAS, on May 3, 2005, the City Council held a duly noticed public hearing, received public testimony, and considered the staff report;

NOW, THEREFORE, BE IT RESOLVED that the City Council approves the application of Denis Clarke for a Tentative Minor Subdivision Map for the property at 7590 Washington Avenue, APN 004-223-006, as described herein and as shown on Exhibit A, and subject to the following conditions:

CONDITIONS OF APPROVAL
PROJECT 2005-010: TENTATIVE MINOR SUBDIVISION MAP
7590 WASHINGTON AVENUE

Planning Department:

P1. The approval of this Tentative Minor Subdivision map is valid for a period of two (2) years from the date that it is approved by the City Council, except that the expiration date may be extended for up to three (3) years at the discretion of the Planning Commission, pursuant to Zoning Ordinance §16.28.100.

P2. This permit approves the Tentative Minor Subdivision map defined in the staff report dated May 3, 2005, and shown on the attached Exhibit A, dated 03/17/05.

P3. This permit does not allow the construction of any new structure(s) on any of the newly authorized parcels. Any future development on any of the parcels created by this subdivision shall go through the Design Review process prior to issuance of a building permit. Any proposed construction must be consistent with all development standards for the RSF-2 zoning district in effect at the time that a complete Design Review application is submitted to the Planning Department. Any hearings scheduled for this Design Review process shall be publicly noticed hearings consistent with Municipal Code §17.330.

building P4. The applicant shall either complete all necessary legal agreements to insure that one of the residential units is designated as affordable for a household making no more than 80% of Sonoma County's median income, consistent with Municipal Code §17.240 and Government Code §65915, or the applicant shall pay the required in-lieu fee for 0.8-units, as defined in City Council Resolution No. 5288. The applicant shall complete the agreements or pay the in-lieu fee prior to issuance of a building permit for this project.

P5. Prior to approval of a Final Map, the building envelope for Lot 4 shall be revised to reflect a 20' setback along the entire "front" property line, as described in the staff report.

P6. The developer may maintain residence in the existing home on Lot 2 during construction of the home on Lot 1. The existing residence must be vacated and physically removed within one year after commencement of construction of the home on Lot 1. This condition shall be recorded on the Final Map.

P7. All future development shall be consistent with the City's Design Review Guidelines. If the applicant chooses to construct a regulated affordable unit, it shall be architecturally compatible with other homes in the development and shall employ substantially the same exterior materials and finishes as those utilized on the other homes in the development.

P8. Single-family units in the project shall comply with U.S. EPA Energy Star standards.

P9. Single-family design submittals to the Design Review Board shall include an analysis of the proposed siting and home design in relation to passive solar objectives.

P10. The single-family unit on Lot #1 shall be pre-wired for photovoltaics.

P11. Design submittals for the single-family unit on Lot #1 shall include conceptual designs for potential active solar systems that may be offered to buyers as options.

P12. Drainage and stormwater improvements shall be designed with the intention of reasonably maximizing on-site water catchment and retention, subject to the review and approval of the City Engineer.

P13. Permeable paving shall be employed for single family walkways, patios, driveways and similar improvements to the extent determined appropriate by the Design Review Board.

P14. To reduce wastewater flows from the project, the applicant shall retrofit high-flow toilets and showerheads with low-flow fixtures in 3 existing occupancies in the City limits, or pay an in-lieu fee if one has been established. A plan for such retrofit shall be submitted for the review and approval of the Building Official. Such retrofits shall be completed and verified by the Building Official prior to issuance of a Certificate of Occupancy for the 4th home in the development.

P15. Dual-flush toilets shall be utilized unless the Building Official determines that appropriate models are not available or are not feasible in the project. However, the developer may transfer one recently purchased toilet from the existing home into the new home on Lot 1.

P16. The Design Review Board shall consider the location of any proposed exterior lighting fixtures to insure that they are directed to the interior of the site so as to minimize any light or glare onto adjacent properties, and shall pay particular attention to the proposed building height and massing to insure that there are no significant impacts to the privacy and views of the adjacent residences.

P17. If backflow devices are required in front yard areas, they shall be suitably screened and located so as to minimize visual impact, subject to the review of the Design Review Board.

P18. If the U.S. Postal Service requires grouped mailboxes, the placement and design of such mailboxes shall be subject to the review of the Design Review Board.

P19. In order to allow adequate sight distance from the new private street onto Washington Avenue, no fences taller than 3'6" will be allowed within the required front setback of Lot 1.

P20. There shall be a 3' landscape buffer along the east property line of the project site along the entire length of the property line that is shared with 7572 Washington Avenue. The driveway on the project site shall be relocated as necessary to include this planting strip, and the landscape plan submitted with the Design Review application for Lot 1 shall include a detailed plan for landscaping this area.

P21. Prior to approval of improvement plans for this project, the applicant must obtain all necessary Tree Removal Permits associated with any site development or construction plans. If during their review, the Tree Board determines that such permits shall not be granted, the applicant must redesign the subdivision accordingly. If such a redesign is required, the Planning Director shall, at his sole discretion, determine whether the plan must be reconsidered by the Planning Commission and/or City Council.

P22. Pursuant to Municipal Code §8.12.050, the applicant shall submit a Tree Protection Plan with the improvement plans for this subdivision. The Tree Protection Plan must clearly identify any tree on the subject properties or on adjacent properties which is 10" d.b.h. or larger and in whose dripline any work will be done. The TPP shall indicate which of those trees are to be protected, and which are to be removed. The Tree Protection Plan shall include all details identified in §8.12.050. The applicant will also be required to submit a Tree Protection performance bond consistent with §8.12.050.D.

P23. The applicant shall insure that the project engineer works with the project arborist in developing plans for the individual lots to incorporate the arborist's tree preservation recommendations into grading, foundation, and utility plans.

P24. During demolition and removal of existing structures and utilities, care should be taken to avoid damaging existing trees.

P25. Surface drainage swales shown around the perimeter of the site should be hand dug, under the supervision of the project arborist, to avoid damaging tree roots near the surface.

P26. The project arborist should review all plans for individual lot development and must submit detailed reports regarding tree protection for each lot depending on specific site and tree issues.

P27. These and all additional mitigation measures defined in Mr. Meserve's report shall be incorporated into Tree Protection Notes by the project arborist, shall be printed on the Improvement Plans, and shall be observed by the developer during construction.

P28. A plan for recycling of construction waste shall be submitted for the review and approval of the Building Official.

P29. The following control measures (from Table 2: Feasible Control Measures for Construction Emissions of PM_{10}) shall be implemented during the construction phase of this project:

- Water all active construction areas at least twice daily.
- Cover all trucks hauling soil, sand, and other loose materials
- Apply water 3x daily or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction sites.
- Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets.

P30. Any development on the parcels created by this subdivision is subject to the City's Growth Management regulations. Therefore, a building permit for any new residential units shall be issued only if there are sufficient allocations available at the time that the property owner applies for such permit.

P31. All fees associated with processing this project shall be paid prior to recordation of the final subdivision map. All applicable impact fees, including, but not limited to school, traffic, park, in-lieu housing fee, water and sewer fees shall be paid prior to issuance of a building permit. This shall be noted on the final subdivision map and/or defined in an Improvement Agreement.

Fire Department:

F1. Fire Department will provide addresses for the new lots prior to issuance of building permit.

F2. The access driveway shall be posted "No Parking – Fire Lane" per the Uniform Fire Code.

Building Department:

B1. The applicant must obtain a building permit for any retaining walls which are 36"+ inches tall, measured from the bottom of the wall footing.

Engineering Department:

General

E1. Submittals for Engineering Plan Check shall be made at the Public Works Department. Plan Check Deposit shall be paid at the time of submittal. Call (707) 823-2151 for information.

E2. Any exceptions or variances from these conditions will require the written approval of the City Engineer or approval of the City Council if required by City Code.

E3. The City reserves the right to place additional conditions on any proposed developments on the proposed parcels if individual use permits are submitted for the individual parcels.

Prior to the recordation of the Parcel Map, the following conditions shall be satisfied:

Final Map/Parcel Map

E4. A Parcel Map prepared by a licensed surveyor or civil engineer, shall be prepared and submitted for the review and approval of the City Engineer. The map shall conform to the requirements of the Subdivision Map Act and local ordinances. Upon recordation of the map, the subdivision is valid.

E5. All property corners of lots within the subdivision shall be monumented with no less than 3' long by 1/2" diameter galvanized steel pipe imbedded no less than 24" into the earth, except as expressly permitted in writing by the City Engineer.

E6. The following notes shall appear on the Local Agency sheet of the Parcel Map:
   a. "Building Permits shall be subject to payment of development fees in effect at the time of permit issuance."

E7. The Parcel Map shall state:
   a. The assessor's parcel number
   b. Total area of land being subdivided (in acres)
   c. Total number of lots being created

E8. Developer shall either complete the required construction prior to recordation of the map or enter into an Improvement Agreement and post security with the City of Sebastopol prior to the filing of the Parcel Map, agreeing to complete the required construction within 12 months after the filing of the map. The Improvement Agreement shall be recorded with the map.

E9. For any Parcel map whereupon dedications are required to be offered, the applicant shall transmit by certified mail a copy of the conditionally approved Tentative Map together with a copy of Section 66436 of the State Subdivision Map Act to each public entity or public utility that is an easement holder of record. Written compliance shall be submitted to the City of Sebastopol.

E10. If any of the improvements which the applicant is required to construct or install is to be constructed or installed upon land in which the applicant does not have title or interest sufficient for such purposes, the applicant shall do all of the following at least 60 days prior to the filing of the final or parcel map for approval pursuant to Government Code Section 66457:
   a. Notify the City of Sebastopol (hereafter "City") in writing that the applicant wishes the City to acquire an interest in the land which is sufficient for such purposes as provided in Government Code Section 66462.5;
   b. Supply the City with (i) a legal description of the interest to be acquired, (ii) a map or diagram of the interest to be acquired sufficient to satisfy the requirements of subdivision (e) of Section 1250.310 of the Code of Civil Procedure, (iii) a current appraisal report prepared by an appraiser approved by the City which expresses an opinion as to the current fair market value of the interest to be acquired, and (iv) a current Litigation Guarantee Report;
   c. Enter into an agreement with the City, guaranteed by such cash deposits or other security as the City may require, pursuant to which the applicant will pay all of the City's cost (including, without limitation, attorney's fees and overhead expenses) of acquiring such an interest in the land.

E13. The map shall show a dedication of a 5 foot public utilities and public access easement behind the proposed back of sidewalk.

E14. The map shall clearly show all common parcels, and all easements including reciprocal easements for drainage, water, parking, access, walkways, and landscaping.

<u>Improvement Plans – General</u>

E15. Improvement Plans prepared by a Registered Civil Engineer shall be submitted for the review and approval of the City Engineer showing grading, paving, utilities, drainage, structures to be built, and lighting. The improvements plans shall include parking, street and utility information including all concrete curb and gutter, sidewalk, striping and signing, paving, water lines and sewer lines, erosion control and any necessary transitions. All improvements shall be in accordance with the City of Sebastopol Standard Improvement Details and Specifications.

E16. Improvement Plans shall include the location and size of all existing trees to be removed, and trees to remain. Improvement plans shall show all measures identified in the Tree Protection Plan as needed, to protect trees during construction. The Tree Protection Plan shall be reflected on the Grading Plan.

E17. The following notes shall appear on the improvement plan cover sheet:

a. "All existing overhead utilities on-site and along the project frontage shall be placed underground."

b. "During construction, the Developer shall be responsible for controlling noise, odors, dust and debris to minimize impacts on surrounding properties and streets."

E18. All shared sewer, water, storm drain, lighting, landscaping, roadway and parking facilities shall be included in a maintenance agreement to be reviewed and approved by the City Engineer prior to approval of the improvement plans and then recorded to run with the property.

Soils

E19. The applicant shall submit to the City of Sebastopol for review and approval, a detailed Soils Report certified by an Engineer registered in the State of California and qualified to perform soils work. The report shall include a minimum of geotechnical investigation with regard to liquefaction, expansive soils, and seismic safety. The grading plans shall incorporate the recommendations of the approved Soils Report.

E20. The geotechnical investigation shall specifically include an assessment of the suitability of and recommendations pertaining to the existing retaining walls on the property if those retaining walls are to remain.

E21. The geotechnical investigation shall specifically include an assessment of the slope at the south end of the property.

Undergrounding

E22. Any existing overhead utility services to the existing structure must be removed when the structure is demolished, which shall be no later than one year after commencement of construction of the home on Lot 1.

Streets, Traffic & Circulation

E23. Street frontage improvements including curb, sidewalk, gutter (including appropriate transitions to existing sidewalks), and landscaping and drainage facilities will be required along Washington Avenue.

E24. Any proposed pavement removal and re-paving will be subject to the review and approval of the City Engineer.

E25. The interior private drive structural section shall be designed based on R-value as determined by the Soils Report.

E26. All on-site paving shall be private and privately maintained. Reciprocating access easements and parking agreements shall be shown on the Final Map if shared parking or access is proposed.

E27. The access driveway shall have a clear access way 25 feet in width and clear paved driveway of 19 feet in width.

E28. Driveway entrances shall meet the requirements of the City Traffic Engineer.

E29. If the existing city streets or sidewalks are damaged during construction, the contractor/developer shall be responsible for repair at no cost to the city.

Grading

E30. The applicant shall submit to the City of Sebastopol for review and approval, a grading plan prepared by a Registered Civil Engineer licensed in the State of California; shall obtain a Grading Permit; and shall post sufficient surety guaranteeing completion.

E31. The grading plan shall clearly show all existing survey monuments and property corners and shall state that they shall be protected and preserved.

E32. If the site will require import or export of dirt, the applicant shall submit in writing the proposed haul routes for the trucks and equipment. The haul routes must be approved by the City prior to import/export work commencing.

Storm Drain

E33. The applicant shall submit to the City of Sebastopol for review and approval hydrologic calculations, pipe sizing, drainage plans, and hydraulic calculations prepared by a Registered Civil Engineer licensed in the State of California. The applicant shall enter into an agreement with the City of Sebastopol to complete the improvement and shall post sufficient surety guaranteeing the construction of the improvements. The drainage plans and calculations shall indicate the following conditions before and after development:
   a. Quantities of water, water flow rates, drainage areas and patterns and drainage courses. Hydrology shall be per current Sonoma County Water Agency Standards.
   b. Project drainage shall be designed using the 10-year storm average flow and 100 year peak flow.

E34. Storm drainage improvements shall be designed in accordance with the Sonoma County Water Agency criteria. Hydrology calculations, pipe sizing and storm drain plans shall be submitted for the review and approval of the City Engineer.

E35. No lot to lot drainage is allowed except where easements for drainage are provided. No drainage may discharge across sidewalks.

E36. The applicant shall demonstrate for each building pad to the satisfaction of the City of Sebastopol as follows:
   a. Adequate protection from 100-year frequency storm; and
   b. Feasible access during a 10-year frequency storm.

E37. Post-development storm water flows shall be limited to pre-development levels.

E38. All site drains and ditches shall be privately maintained and shall be contained within private storm drain easements. For any pipes outside of the right-of-way, easements must be 10 ft.

E39. Roof leaders shall be piped to a vegetated swale where drainage flows will then pass through curb drains or an approved on-site storm drainage system.

E40. The improvement plans shall show that all concentrated site drainage shall be directed to an under-sidewalk drain or an approved on-site storm drainage system.

Water

E41. The improvement plans shall show water services to each building. All water meters shall be located within the right-of-way on Washington Avenue. Meters shall be on a meter manifold to reduce the number of connections to the water main in Washington Avenue. Meter locations shall be subject to approval by the Sebastopol Public Works Department. The manifold shall be detailed and approved by the City Engineer. No more than 6 meters may be manifolded off of a single water service lateral with no more than three on either side of the service. All on-site water services shall be private. All private water mains shall be constructed within a 10' private easement. The easement shall be shown on the Final Map.

E42. Fire protection shall be in accord with the requirements of Sebastopol Fire Department.

E43. New water services must be constructed and functional prior to issuance of the building permit.

Wastewater (sanitary sewer)

E44. Sanitary sewer to serve this development shall be extended from Washington Avenue into the project site. A manhole shall be placed at the Washington Avenue City-owned sewer line. A cleanout shall be placed at the edge of the property line, behind the sidewalk.

E45. Existing sewer service laterals shall be abandoned.

E46. The improvement plans shall show a sewer lateral to each building in accord with City Standards (min. slope shall be 2%).

E47. The on-site sewer lines shall be privately maintained. A 10' private sewer easement shall be shown in the final map or recorded by separate document (if the development is completed after recordation of the final map). The maintenance of any private sewer line with shared maintenance shall be included in the maintenance agreement for the overall site.

In conjunction with the recordation of the map, the following conditions shall be satisfied:

Dedications

E48. The applicant shall offer to dedicate on the Final Map to the City of Sebastopol a Public Service Easement as required.

Prior to construction, the following conditions shall apply:

E49. No construction shall be initiated until the Improvement Plans have been approved by the City, all applicable fees have been paid, an encroachment permit and/or grading permit has been issued and a project schedule has been submitted to the City Engineer and a pre-construction conference has been held with the City Engineer or his designee.

E50. Developer shall secure an encroachment permit from the City prior to performing any work within the City right of way or constructing a City facility within a City easement.

During construction, the following conditions shall apply:

E51. Prior to acceptance of improvements or occupancy of building, any curb, gutter, and sidewalk which is not in accord with City standards or is damaged before or during construction, shall be replaced.

E52. All construction shall conform to the City Standard Details and Specifications dated July, 1998, all City Ordinances and State Map Act and the approved plans.

E53. The developer shall complete all water and wastewater improvements, including pressure and bacterial testing and raising manholes and cleanouts to grade prior to connection of any buildings to the City water or wastewater systems.

E54. If any hazardous waste is encountered during the construction of this project, all work shall be immediately stopped and the Sonoma County Environmental Health Department, the Fire Department, the Police Department, and the City Inspector shall be notified immediately. Work shall not proceed until clearance has been issued by all of these agencies.

E55. Prior to final preparation of the subgrade and placement of base materials, all underground utilities shall be installed and service connections stubbed out behind the sidewalk.

E56. The Contractor shall be responsible to provide erosion and pollution control in accordance with the approved plans and permits.

E57. The developer shall keep adjoining public streets free and clean of project dirt, mud, materials, and debris during the construction period, as is found necessary by the City Engineer.

E58. Where soil or geologic conditions encountered in grading operations are different from that anticipated in the soil and/or geologic investigation report, or where such conditions warrant changes to the recommendations contained in the original soil investigation, a revised soil or geologic report shall be submitted for approval by the City Engineer. It shall be accompanied by an engineering and geological opinion as to the safety of the site from hazards of land slippage, erosion, settlement, and seismic activity.

E59. Because this project is surrounded by existing residential homes, hours of work for both public improvements and private improvements (including home construction) shall be limited in accordance with the City of Sebastopol Noise Ordinance.

E60. Throughout the construction of the project, dust control shall be maintained to the satisfaction of the City and the contractor shall be responsible to implement reasonable measure to cure any problems that may occur.

E61. If the existing city streets are damaged during construction, the contractor/developer shall be responsible for repair at no cost to the city.

E62. If, during construction, the contractor damages any existing facilities on the neighboring properties (i.e. fences, gates, landscaping, walls, etc.) contractor shall be responsible to replace all damaged facilities.

Prior to occupancy, the following conditions shall be satisfied:

E63. All streets shall be paved, all public utilities installed and all signage relating to traffic control (stop signs, etc.) shall be installed.

E64. All improvements shown in the improvement plans for any individual parcel deemed necessary for the health, safety and welfare of the occupant and general public shall be completed prior to occupancy of that parcel.

Prior to acceptance of public improvements and bond exoneration, the following conditions shall be satisfied:

E65. Sufficient surety guaranteeing the public improvements for a period of one year shall be provided.

E66. A complete set of As-Built or Record, improvement plans on the standard size sheets will be certified by the Civil Engineer and returned to the City Engineer's office prior to final acceptance of the public improvement. These shall show all constructive changes from the original plans including substantial changes in the size, alignment, grades, etc. during construction. The Contractor shall pay a fee for having same put into the City Base Map and Utilities Maps.

IN COUNCIL DULY ADOPTED on May 3, 2005, by the following vote:

VOTING AYE: Councilmembers Gurney, Kelley, Litwin, Pierce and Mayor Robinson
VOTING NO: None
ABSENT: None
ABSTAIN: None

APPROVED: _____
Mayor

APPROVED: _____
City Clerk

NOTES:

1. TOPOGRAPHY, (E) CONDITIONS & BOUNDARY INFO FROM SUBDIVISION IMPROVEMENT PLANS BY:

   KINCHELO ENGINEERING
   P.O. BOX 1556
   WINDSOR, CA. 95492
   (707) 838-9210
   JM KINCHELO, RCE #40839

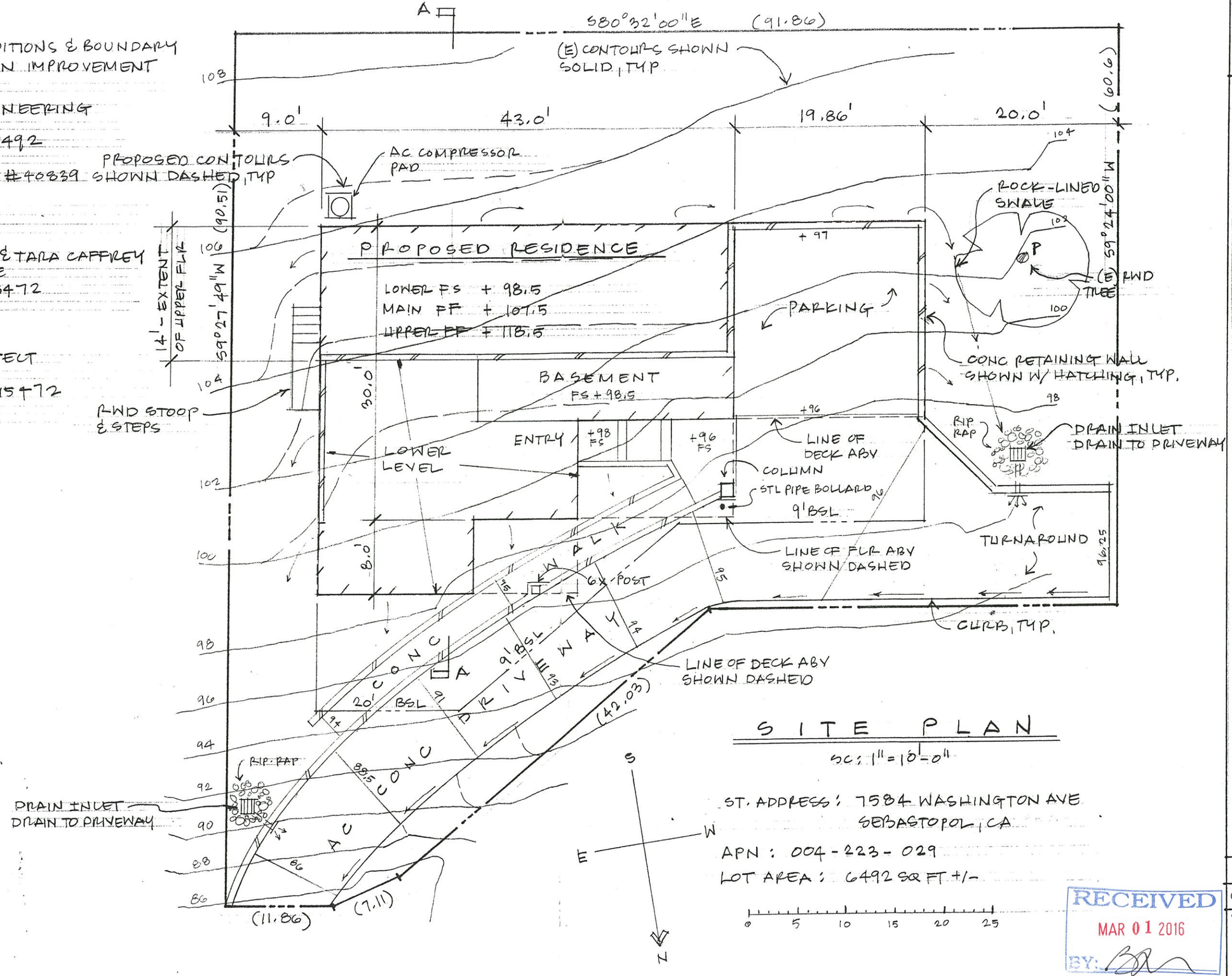
2. CONTACT INFO:

   OWNERS:

   MALCOLM O'MEARA & TARA CAFFREY
   7495 E. HURLBUT AVE
   SEBASTOPOL, CA 95472
   707-225-5420

   ARCHITECT:

   RK PATE - ARCHITECT
   5341 TODD RD
   SEBASTOPOL, CA 95472
   707-823-2992
   LIC# C-23453



SITE PLAN

SC: 1" = 10'-0"

ST. ADDRESS: 7584 WASHINGTON AVE
SEBASTOPOL, CA

APN: 004-223-029

LOT AREA: 6492 SQ FT +/-

0 5 10 15 20 25

RECEIVED
MAR 01 2016
BY:

DESIGN REVIEW DWGS

DESIGN BY:
RICHARD K PATE - ARCHITECT
707-823-2992 SEBASTOPOL

DESIGN FOR:
O'MEARA / CAFFREY RESIDENCE
7584 WASHINGTON AVE., SEBASTOPOL, CA
APN: 004-223-029

2/29/2016

O'MEARA

SHT #

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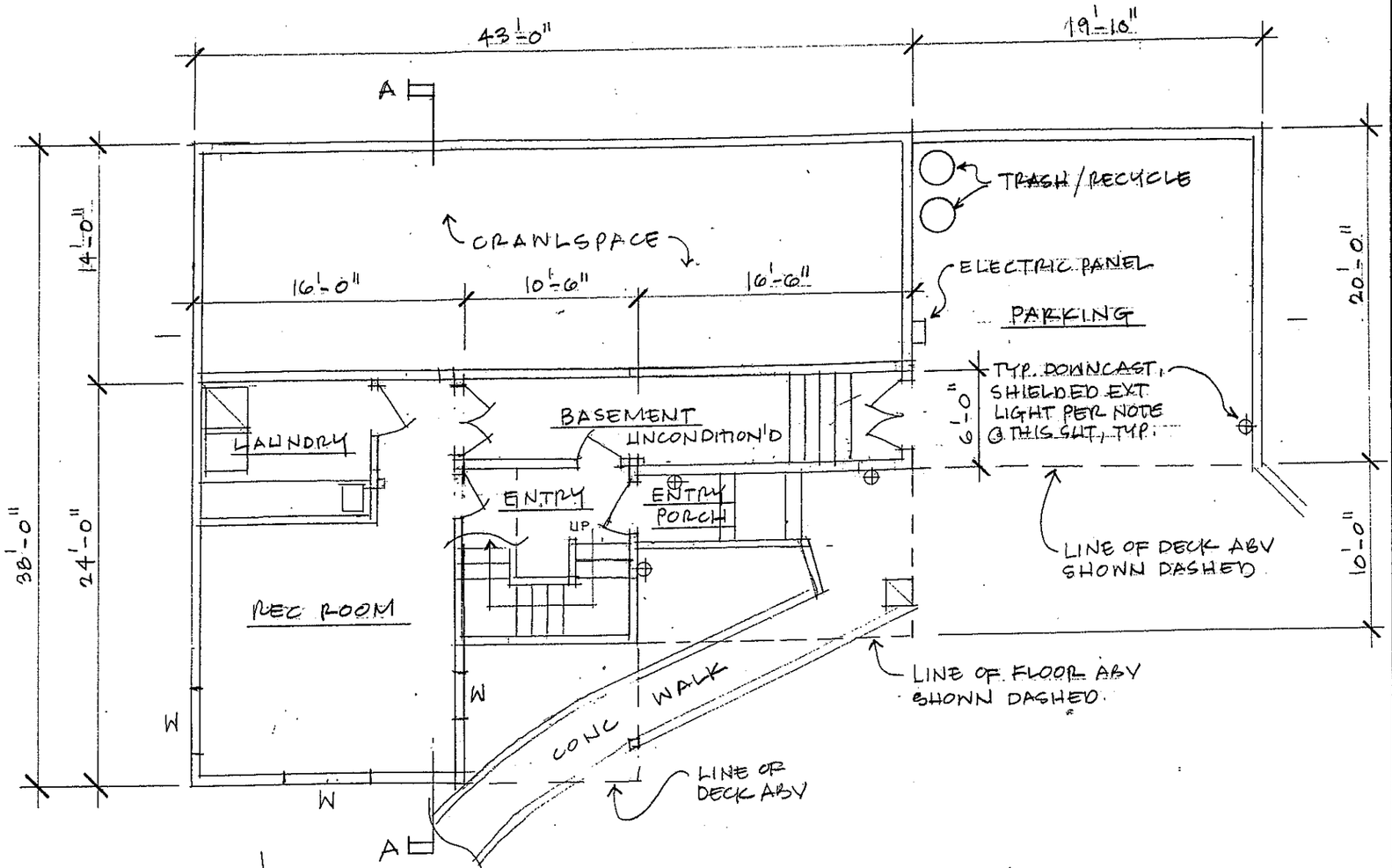
TYPICAL EXTERIOR LIGHTING:

ALL EXTERIOR LT'S SHALL BE:
MFR - KICHLER
MODEL - WESLEY COLLECTION MODEL # 49279PLLED,
BRONZE COLOR



LOWER FLOOR PLAN

SC: 1/8" = 1'-0"

0 5 10 15 20 25

TOTAL CONDITIONED AREA @ THIS LEVEL = 534 SQ FT
" BASEMENT " " " " = 162 SQ FT

DESIGN REVIEW DRAWINGS

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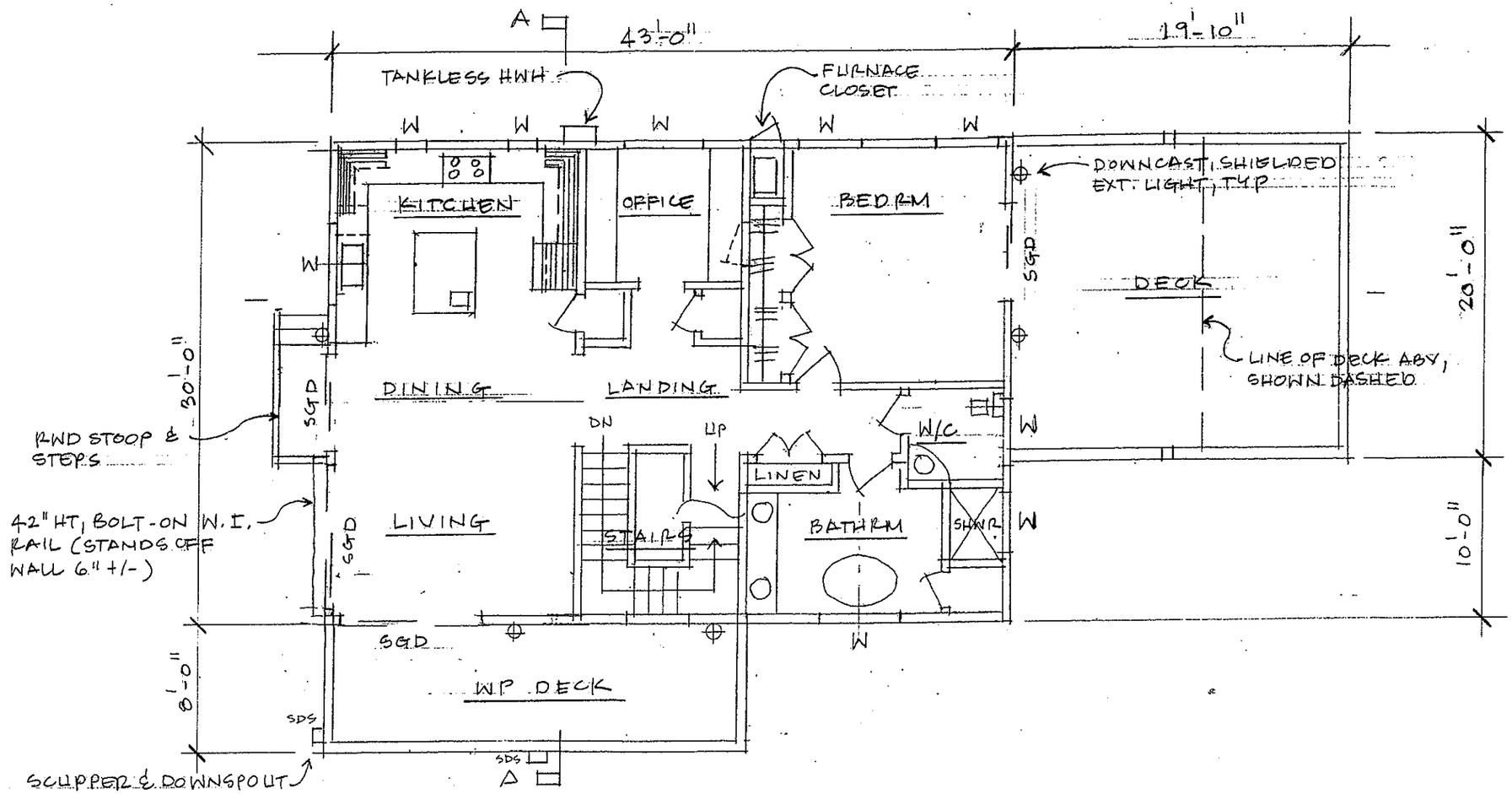

MAIN FLOOR PLAN

SC: 1/8" = 1'-0"

0 5 10 15 20 25

N

TOTAL HEATED AREA @ THIS LEVEL = 1190 SQ FT

" WP DECK " " " " = 212 SQ FT

" RWD DECK " " " " = 400 SQ FT

GRAND TOTAL HEATED AREA @ ALL LEVELS = 2425 SQ FT

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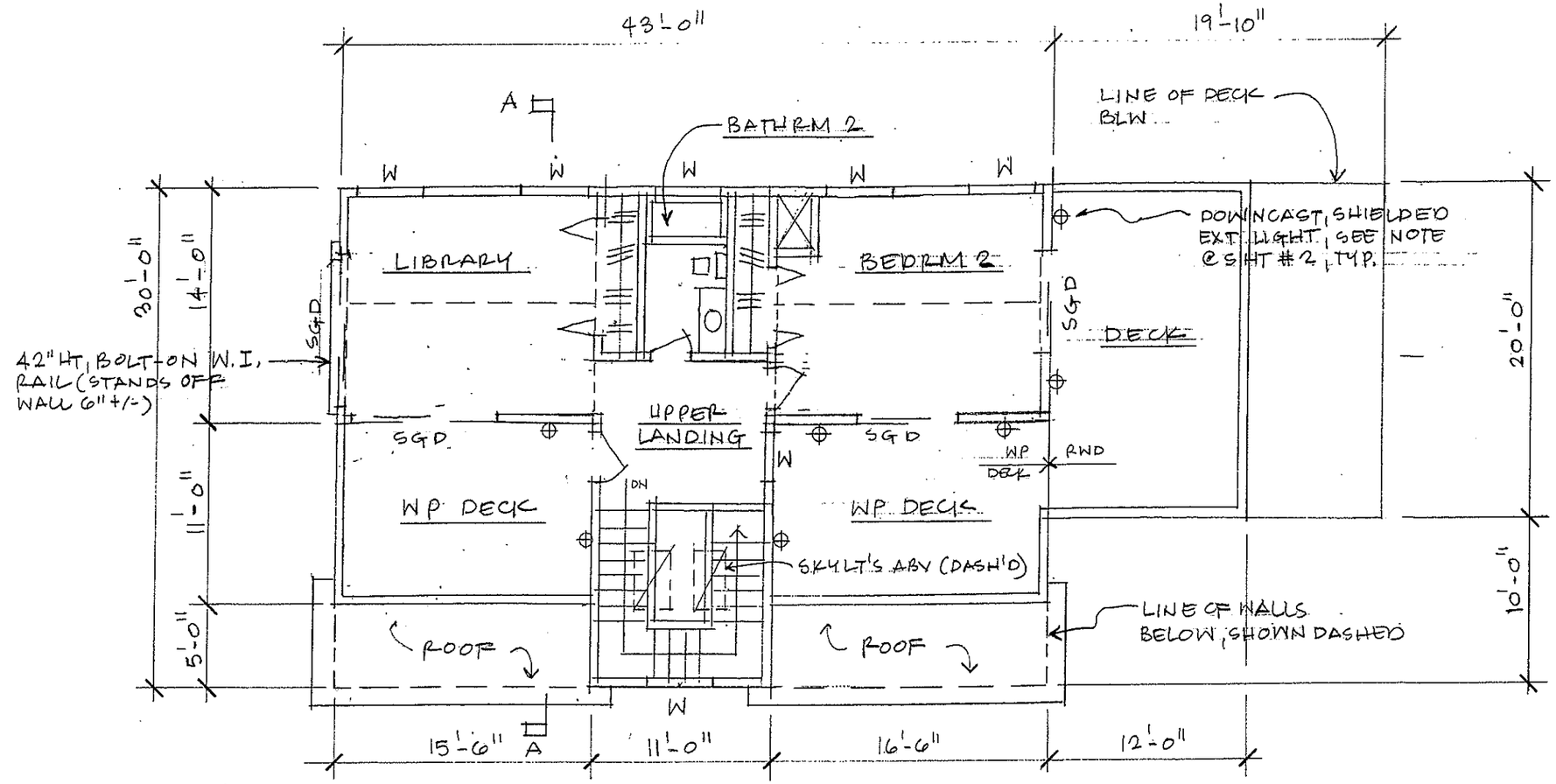

UPPER FLOOR PLAN

SC: 1/4" = 1'-0"

TOTAL HEATED AREA @ THIS LEVEL					=	701 SQ. FT.
"	WP DECK	"	"	"	=	352 SQ. FT.
"	DECK	"	"	"	=	240 SQ. FT.

0 5 10 15 20 25

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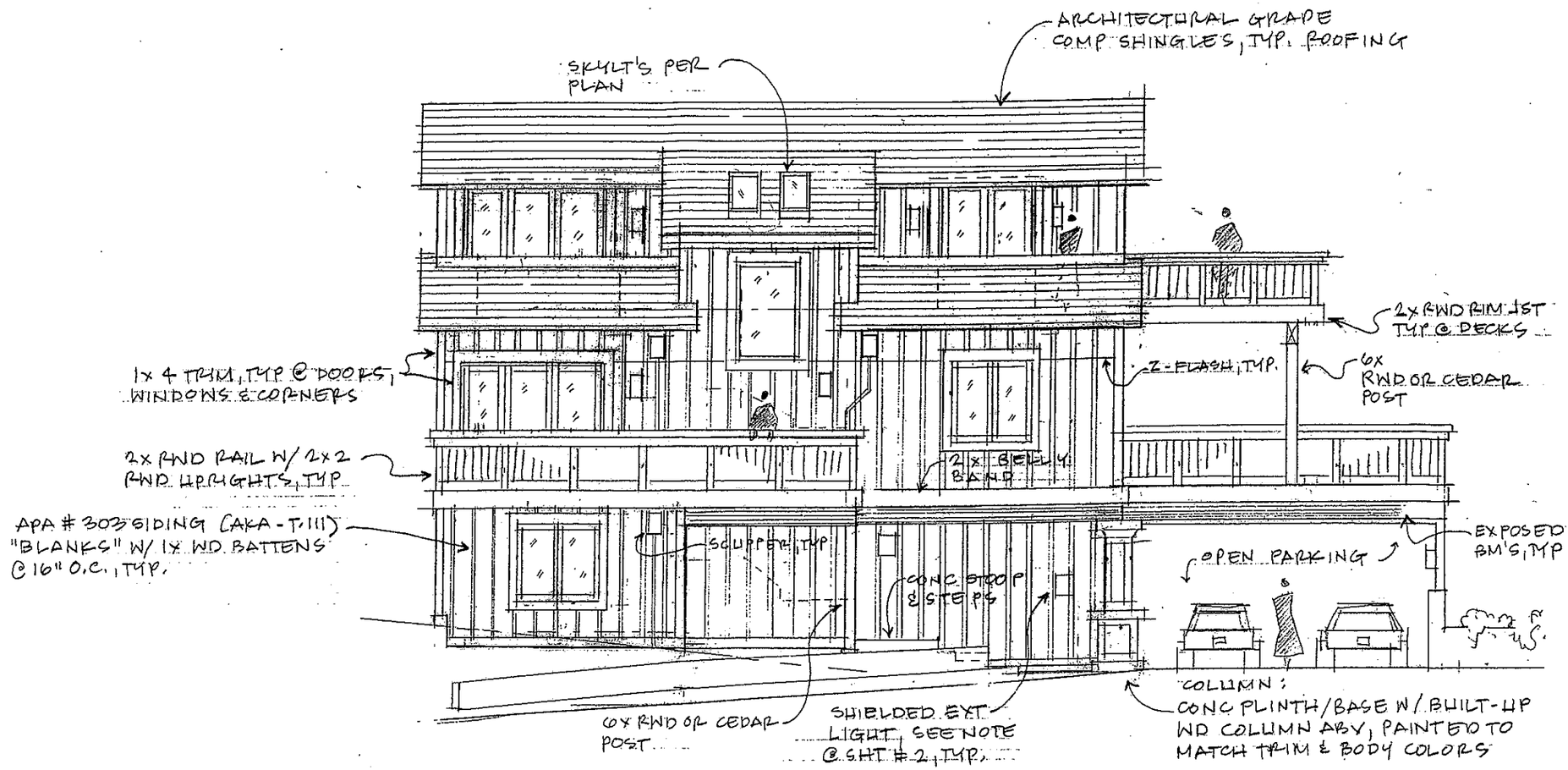

NORTH ELEVATION

SC: 1/8" = 1'-0"

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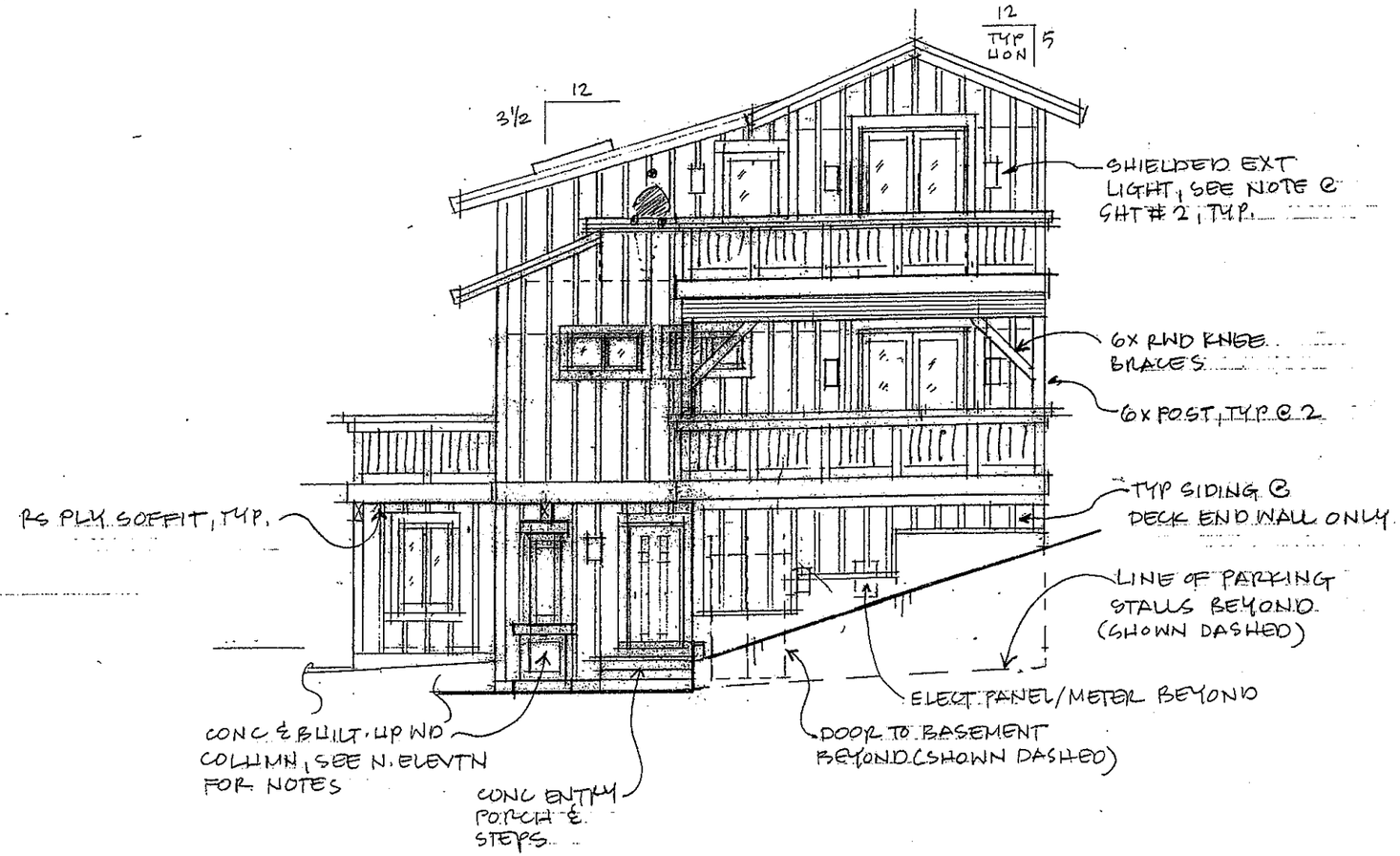

WEST ELEVATION

SCALE 1/8" = 1'-0"

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EXT. MATERIALS & COLORS

SIDING : APA # 303 BLANKS W/ 1x BATTS
COLOR : BODY COLOR IS "GREY - GREEN LINEN" BY VALSPAR (COLOR # Y-142-3)

TRIM : 1x4 WOOD
COLOR : "BISTRO WHITE" BY VALSPAR (COLOR # 7006-4)

FASCIA, GUTTER & BARGE BD'S : PER PLANS
COLOR : "BISTRO WHITE" BY VALSPAR

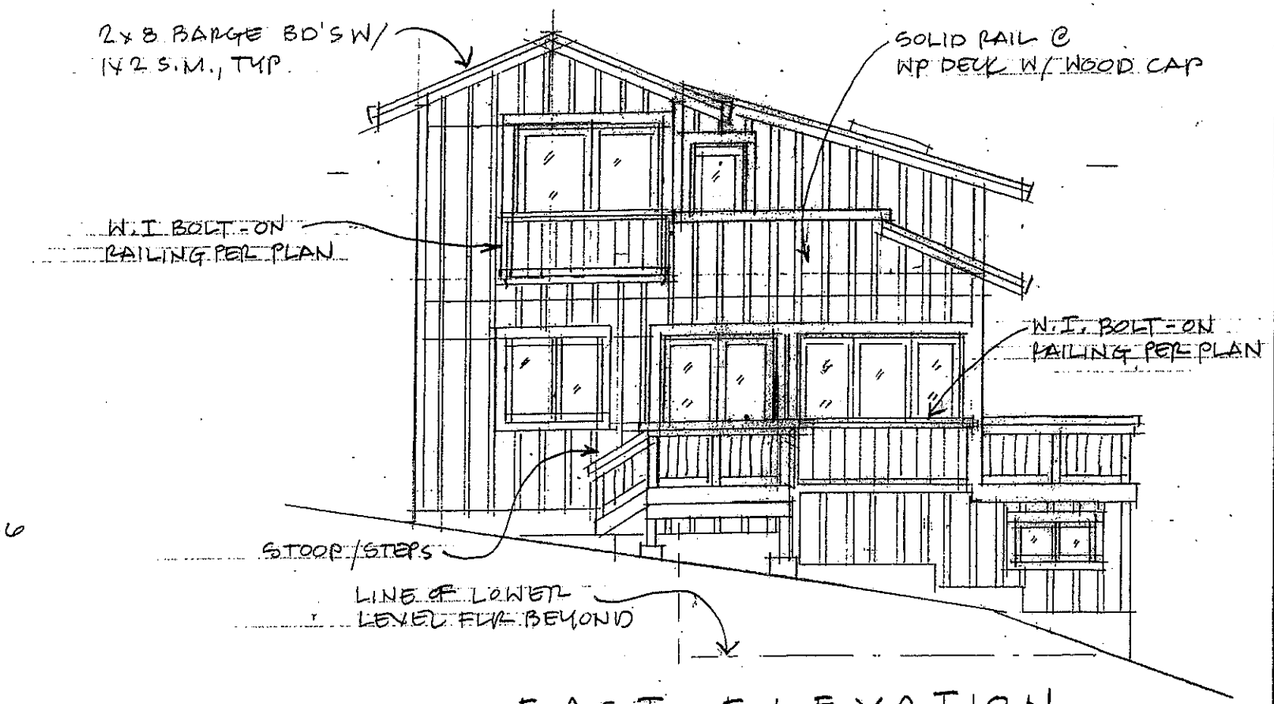
ROOFING : ARCH. GRADE LAMINATED COMP SHINGLES BY OWENS-CORNING, OAKRIDGE SERIES
COLOR : "ESTATE GRAY"

WINDOW FRAMES : VINYL OR WOOD
COLOR : WHITE

DOOR FRAMES : VINYL OR WOOD
COLOR : WHITE

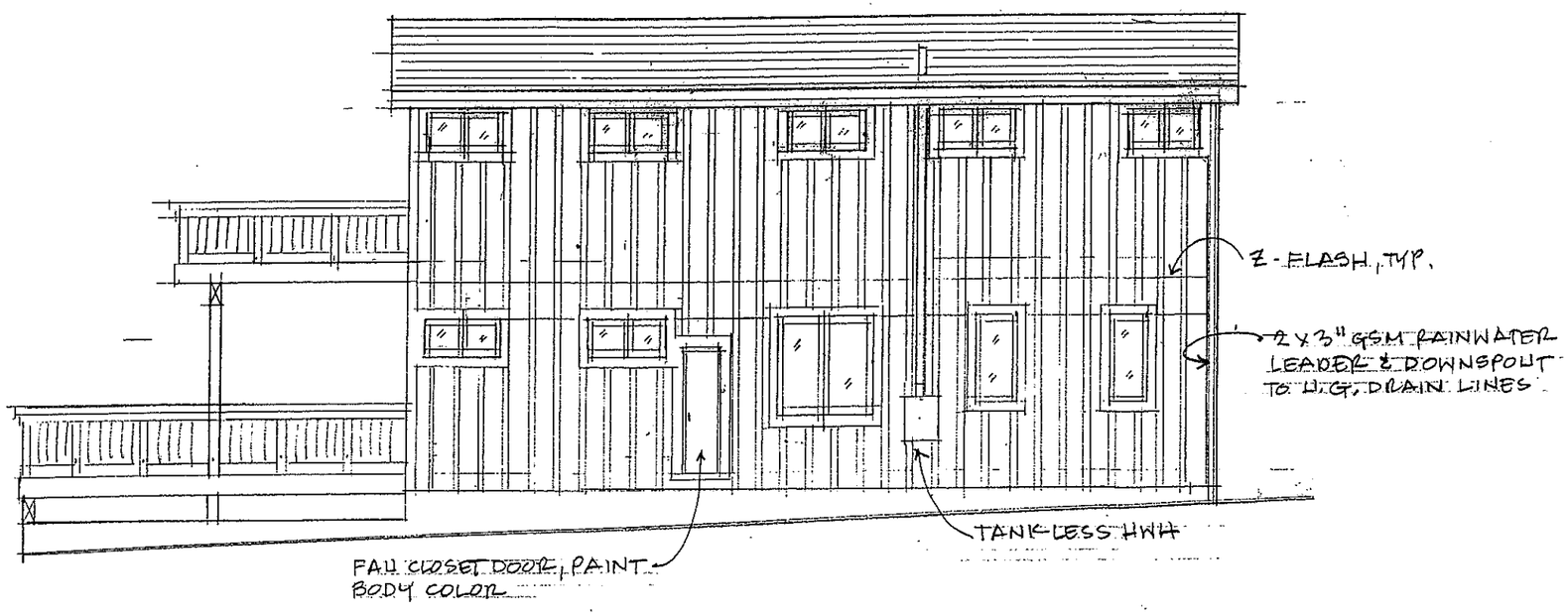
FRONT DOOR : SOLID CORE W/ "ANCIENT BURGUNDY" VALSPAR # 1011-6

DECKS : REDWOOD OR CEDAR RAILINGS & RIM JOISTS



EAST ELEVATION

SC: 1/8" = 1'-0"



SOUTH ELEVATION

SC: 1/8" = 1'-0"

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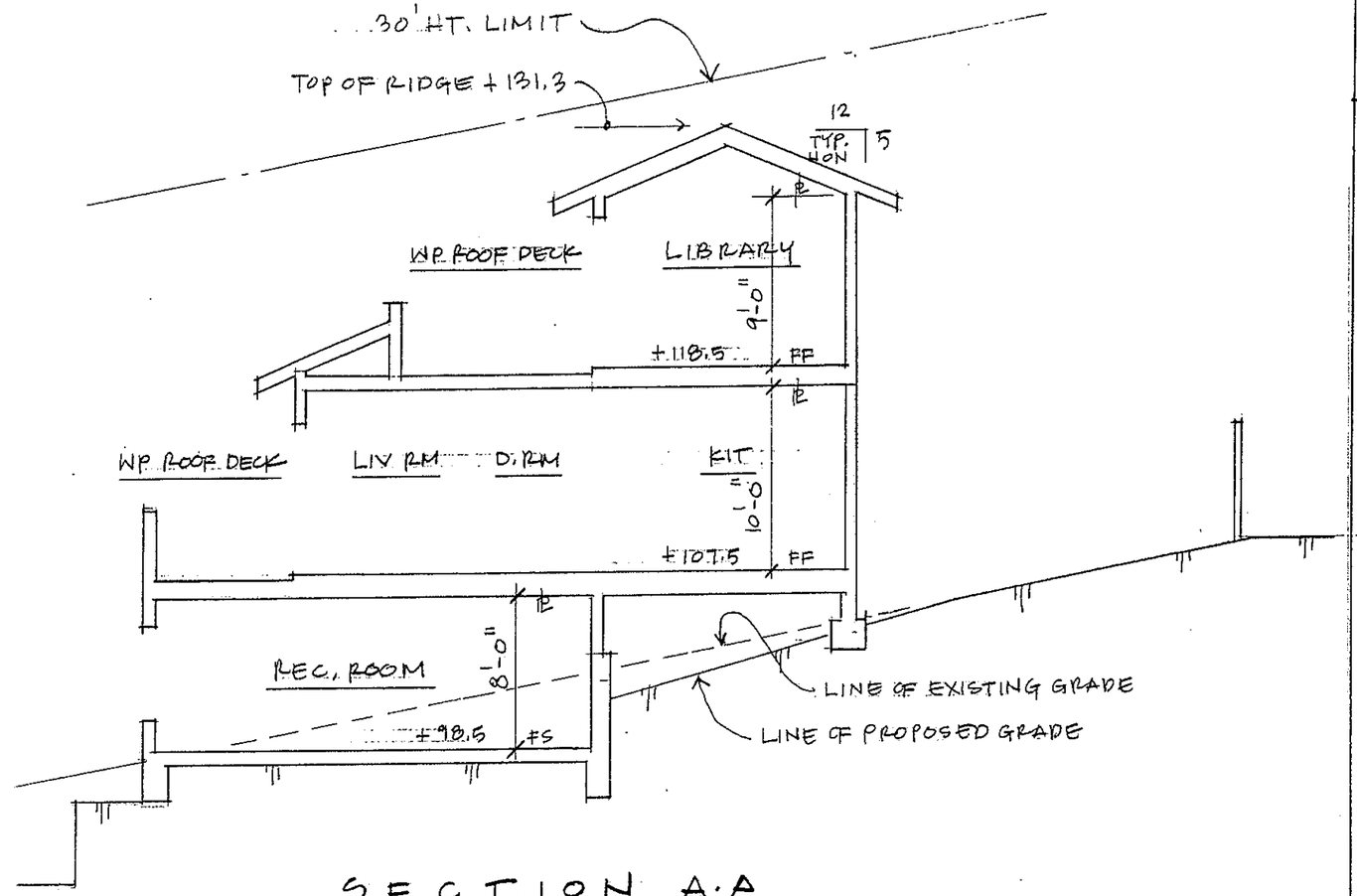
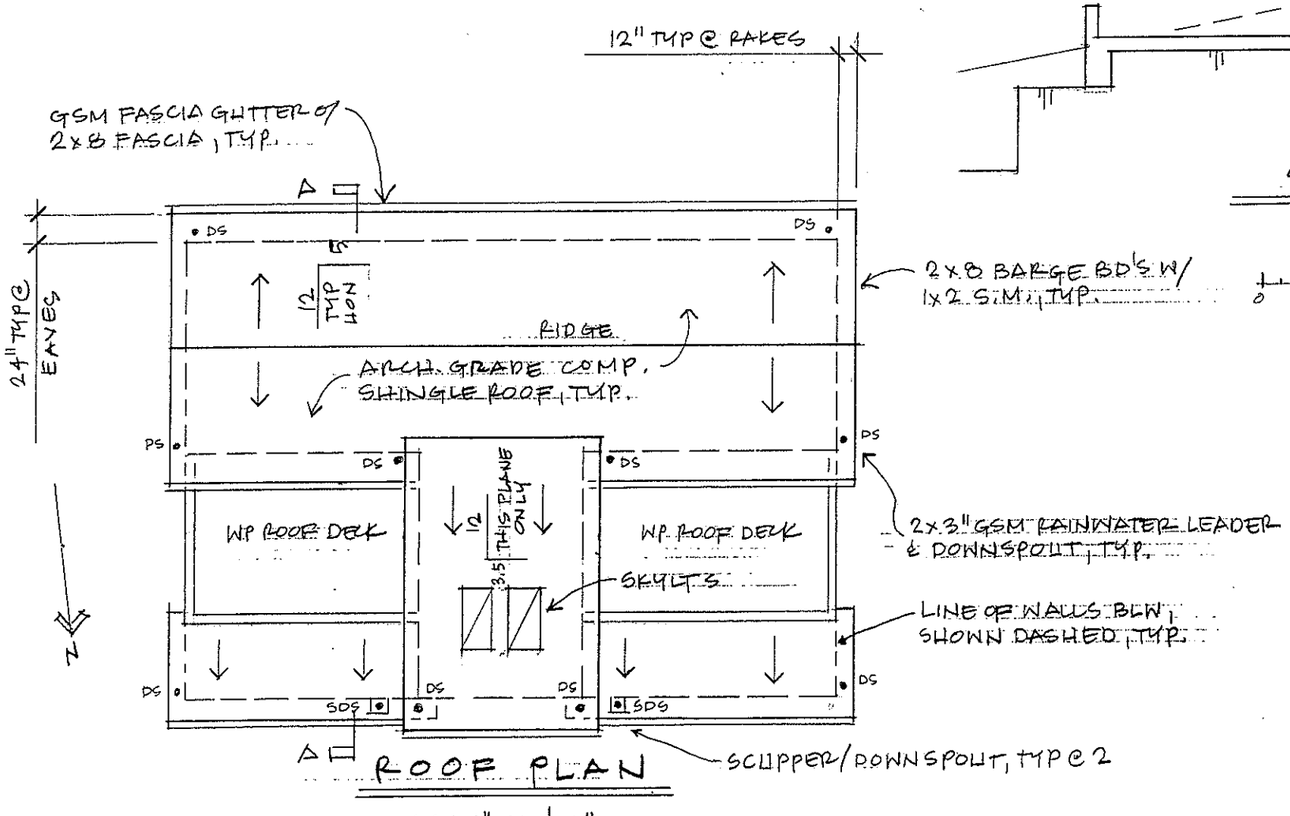


SECTION A-A

SC: 1/8" = 1'-0"



ROOF PLAN

SC: 1" = 10'-0"

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